



AGENDA
Planning & Zoning Commission
Tuesday, September 15, 2020
6:00 PM

ON-LINE MEETING

This agenda and the meetings can be viewed at www.Townofeagle.org.

PUBLIC WIFI - TOEG – townofeagle2019

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION

- Virtual Meeting Procedure
- [Register in advance for this meeting here.](#)
- Public comments can be made when the Chair opens the public comment. Please prompt through Zoom to raise your hand and you will be called on when it is your turn.
- All public attendees will be muted during the meeting, unless the Chair or meeting facilitator invites them to speak live during the meeting.
- Meetings are recorded and will be published on the Town's web page.
- For technical difficulties, please email peyton.heitzman@townofeagle.org and we will do our best to assist you.

6:00 PM - REGULAR MEETING CALLED TO ORDER

APPROVAL OF MINUTES *Approval of the minutes from the September 1, 2020 meeting of the Planning and Zoning commission.*

1. Minutes dated September 1, 2020

PUBLIC COMMENT

Citizens are invited to comment on any item not on the Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person.

PUBLIC HEARINGS

1. Project: Western Slope Laundry Minor Development Permit
File # DR20-03
Applicant: MIM Investments LLC represented by NDG Architecture and Stuart Brummett
Location 775 Sawatch Road
Staff Contact: Jessica Lake, Planner I
Request: Application for a minor development permit to build a 24,900 sf addition to an existing 11,681 sf commercial laundry facility in the Commercial General (CG) Zone District under Section 4.04.070 Service establishment, except vehicular service. The following Design Variances are requested as part of the application: 1) To reduce the number of parking spaces required; and 2) To locate the loading dock and service area at the front of the building instead of at the side or rear as required by Code.

TOWN COUNCIL MEETING REVIEW

Staff update to the Planning & Zoning Commission on recent decisions made by the Town Council on various Land Use files.

COMMUNITY DEVELOPMENT DEPARTMENT UPDATE

Staff update to the Planning & Zoning Commission on recent work and upcoming files.

OPEN DISCUSSION

ADJOURN

I hereby certify that the above Notice of Meeting was posted by me in the designated location at least 24 hours prior to said meeting.



Jessica Lake
Planner I



MINUTES
Planning & Zoning Commission
Tuesday, September 1, 2020
6:00 PM

ON-LINE MEETING

This agenda and the meetings can be viewed at www.Townofeagle.org.

PUBLIC WIFI - TOEG – townofeagle2019

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION

- Virtual Meeting Procedure
- [Register in advance for this meeting here.](#)
- Public comments can be made when the Chair opens the public comment. Please prompt through Zoom to raise your hand and you will be called on when it is your turn.
- All public attendees will be muted during the meeting, unless the Chair or meeting facilitator invites them to speak live during the meeting.
- Meetings are recorded and will be published on the Town's web page.
- For technical difficulties, please email peyton.heiztman@townofeagle.org and we will do our best to assist you.

6:00 PM - REGULAR MEETING CALLED TO ORDER

Commissioner Hood called the meeting to order at 6:04pm.

COMMISSIONERS PRESENT

Robert Townsend, Lani Webb, Jesse Gregg,
Charlie Perkins, Matthew Hood, Kyle Hoiland

COMMISSIONERS ABSENT

Bill Nutkins, Brent McFall

STAFF

Chad Phillips – Community Development Director
Angie Kyle - Administrative Tech II
Jessica Lake - Planner I
Peyton Heitzman – Planner I

APPROVAL OF MINUTES *Approval of the minutes from the August 4, 2020 meeting of the Planning and Zoning commission.*

1. Minutes dated August 4, 2020

MOTION: COMMISSIONER JESSE GREGG MOTIONED TO APPROVE THE MINUTES. MOTION WAS SECONDED BY COMMISSIONER CHARLIE PERKINS AND PASSED WITH A VOTE OF 4 (TOWNSEND, WEBB, GREGG, PERKINS) IN FAVOR, 2 ABSTAINED (HOOD AND HOILAND) AND 0 OPPOSED.

PUBLIC COMMENT

Citizens are invited to comment on any item not on the Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person.

Commissioner Hood opened public comment at 6:05. There was no public comment.

WORKSESSION

1. Elevate Eagle, Chapter 6 Action Items Worksession

Staff reviewed the progress of the Comp Plan and addressed the revisions of Chapter 5 and Chapter 6.

Staff posed questions to the Commissioners for guidance.

Commissioner Hood questioned if there were any prioritization involved with the list of action items. Staff informed him that this is difficult to do as each community member has their own personal priorities, and it would be challenging to make an unified priority list.

The Commission decided to go through the blue items to narrow down the plan and have it more focused for the worksession with Town Council which is tentatively scheduled for November 5, 2020.

The Commissioner went through each line items and addressed their concerns, suggestions, and revisions to chapter 6.

Some items addressed:

- Commissioner Perkins asked if the plan should be assigning action items to economic development.
- Commissioner Hood address some of the challenges with the Post Office and mailing system.
- Commissioner Hoiland and Commission Townsend addressed the need for affordable intown transportation.
- Commissioner Perkins suggested to add electric car charging systems as a requirement to new multifamily developments.
- Commissioner Hoiland suggested adding more electronic information boards across the town.

Mr. Phillips went over the remaining timeline for the Comprehensive Plan adoption.

TOWN COUNCIL MEETING REVIEW

Staff update to the Planning & Zoning Commission on recent decisions made by the Town Council on various Land Use files.

No updates

COMMUNITY DEVELOPMENT DEPARTMENT UPDATE

Staff update to the Planning & Zoning Commission on recent work and upcoming files.

1. Monthly Department Update

Staff provided the Commission with updates from the month of August 2020.

OPEN DISCUSSION

Commissioner Hoiland asked what the interview process for the vacant P&Z commissioner positions. Staff informed them that there are four interviews that will be conducted during the September 8th Town Council Meeting.

Commissioner Hoiland asked if there was an increase in the Use Tax from 4% or 4.5% that was discussed at the Town Council Meeting. Staff informed him that this is currently under discussion and nothing has been decided at this time.

ADJOURN - 7:57pm

MOTION: COMMISSIONER KYLE HOILAND MOTIONED TO ADJOURN. MOTION WAS SECONDED BY COMMISSIONER CHARLIE PERKINS AND PASSED WITH A VOTE OF 6 (TOWNSEND, WEBB, GREGG, PERKINS, HOOD, AND HOILAND) IN FAVOR AND 0 OPPOSED.

APPROVED:

DATE:

Matthew Hood, Chair

Jessica Lake, Community Development Planner I



STAFF REPORT AND DIRECTOR'S RECOMMENDATION

TO: Planning & Zoning Commission

FROM: Community Development Department

DATE: September 15, 2020

PROJECT: Western Slope Laundry Minor Development Permit

FILE NUMBER: DR20-03

APPLICANT: MIM Investments LLC represented by NDG Architecture and Stuart Brummett

LOCATION: 775 Sawatch Road

CODE: Section 4.03.040. - Definitions
Chapter 4.04 Zoning
Chapter 4.06 Development Review
Chapter 4.07 Development Standards

ZONING: Commercial General (CG) Zone District

EXHIBITS: A: Application
B: Project Narrative
C: Project Information and Spec Sheets
D: Development Plans

PUBLIC COMMENT: Staff has not received any letters of public comment as of September 11, 2020. Letters received after this time will be gathered and entered into the public record at the hearing.

STAFF: Jessica Lake, Planner I, jessica.lake@townofeagle.org

REQUEST: Application for a minor development permit to build a 24,900 sf addition to an existing 11,681 sf commercial laundry facility in the Commercial General (CG) Zone District under Section 4.04.070 *Service establishment, except vehicular service*. The following Design Variances are requested as part of the application: 1) To reduce the number of parking spaces required; and 2) To locate the

loading dock and service area at the front of the building instead of at the side or rear as required by Code.

INTRODUCTION

This project proposes to add a 24,900 sf addition to an existing commercial laundry facility, located at 775 Sawatch. The existing and continued use has been identified as a Service Establishment, which is a use by right in the Commercial General (CG) Zone District. A Minor Development Permit is required for this project due to the following reasons:



- Section 4.06.020.A.2. *Renovation of or addition to any building for nonresidential use, which would require additional parking spaces, under Section 4.07.060, whether or not such spaces are actually required; and*
- Section 4.06.020.A.3. *Renovation of or addition to any building for nonresidential use which would make a substantial change, as determined by the Town Manager, in the visual appearance of the building or in the visual impact of the building on its neighborhood.*

775 Sawatch is located in the Commercial General (CG) Zone District and is 61,071 sf. The minimum lot size requirement in the CG Zone District is 20,000 sf. The business type is a commercial cleaning and laundry facility and the use has been identified as a Service Establishment. Section 4.03.040. defines a service establishment in the following way:

- *Service establishment – means a commercial business that primarily renders personal or commercial services rather than the sale of goods as the principal use of the property, such as printing, copy, hairdressing, shoe repair, appliance repair, upholstery, roofing, plumbing and janitorial services, etc. Activities incidental to the primary service business are permitted as accessory uses.*

The following table represents the required setback, height, impervious and maximum floor area; as well as those provided by this project:

	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Max. Height	Building Impervious	Other Impervious	Max. Floor Area
Code Requirement	25 ft	25 ft	½ building height	35 ft*	50%	30%	150%
Western Slope Laundry	25 ft	25 ft	16 ft	32 ft*	48%	23%	58%

**Section 4.07.040.B.2.b. On a gable, hip, or gambrel roof, any selected reference point on the roof surface that sits directly above the interior of the building must be measured from existing grade to the average distance between the eaves and the apex of the roof. Existing grade is defined as the natural topography that exists prior to any improvements being made.*

ISSUES FOR DISCUSSION

1. Does the P&Z Commission agree that the number of parking spaces is enough to accommodate the proposed use and building size?
2. Does the P&Z Commission support the finding for the Design Variance for the front facing loading docks?

STANDARDS FOR MINOR DEVELOPMENT PERMIT

Section 4.06.060.

STANDARD #1: *The proposed development is in compliance with Sections 4.06.050 through 4.06.070.*

Staff finds that this project is in substantial compliance with Sections 4.06.050. through 4.06.070. The applicant had two pre-application meetings with staff, thereby addressing the requirement of 4.06.050. The applicant submitted the attached documentation in compliance with Section 4.06.060., the requirements for a Minor Development Permit. The project does not meet the requirements for a major development permit as established under Section 4.06.070.

STANDARD #2: *The proposed development is in compliance with the provisions contained in Chapter 4.07.*

Section 4.07.010. – Lighting Standards.

1. *Provide quality, context-sensitive lighting for the Town mountain environment; and*
2. *Sustain a pristine nighttime sky by controlling glare, light trespass and light pollution; and*
4. *Minimize light pollution and light trespass beyond property lines within and into commercial and industrial areas; and*
5. *Require proper shielding to eliminate glare at normal viewing angles from all high brightness sources.*

Parking Area Lighting Standards

	Acceptable Lamp Types and Maximum Allowable Wattages		Controls	Maximum Mounting Height
Commercial General	Compact fluorescent H.I.D.	(2) 42 W max 100 W max	Lights on until one hour after closing or servicing	25 feet

Façade Lighting Standards

	Acceptable Lamp Types and Maximum Allowable Wattages		Controls	Maximum Mounting Height
Commercial General	Compact fluorescent Linear fluorescent H.I.D.	42 W max 32 W max 70 W max	Lights on until one hour after closing or servicing	*

- **Mounting of façade lighting:*
 - *In all façade lighting, the source will be fully shielded from pedestrians and motorists.*
 - *Sources should not be visible from inside the lighted building or from surrounding buildings.*
 - *Uplighting must be shielded and/or fall completely on the façade.*
 - *Downlighting of façade elements is preferred.*

Staff has reviewed the lighting specification sheet and the locations of the lights and finds that the requirements provided above have been met. Sheet A303 shows (1) new wall mounted light fixture as well as (1) existing at a mounting height of 86" on the North Elevation. Sheet A303 also shows (3) new and existing light fixtures. Sheet A304 shows (3) new and existing wall mounted lights on the South Elevation and (2) new and existing wall mounted lights on the West Elevation. In all instances the light fixtures are proposed by doors with metal awnings above, all fixtures are shielded and the temperature of the lights will be at 3,000 kelvins or less. All proposed lighting is downlighting.

Section 4.07.020. – Landscape standards.

Impervious coverage requirements – Section 4.07.020.B.1. requires that no more than 80% of the area of any development is covered with impervious materials and a minimum of 20% of each development shall be covered with landscape materials.

This project exceeds the minimum landscape requirement by providing 28% landscape materials.

Front street buffer area – Section 4.07.020.B.3. requires yards adjacent to primary and secondary streets to be landscaped. Landscape materials shall include deciduous, coniferous, and ornamental trees, shrubs, perennials, bulbs, and seed or sodded lawn. Plant quantities are flexible; however, the planting plan shall provide combinations of plant material with differing heights and densities, contributing to the overall uniform appearance of the neighborhood... All landscape areas shall be irrigated using an underground automatic system.

This project proposes a variety of landscape material along the street frontage; including Aspen trees, a Blue Spruce, Mountain Laurel, Arborvitae, Shrubby Cinqufoil, landscaped mulch area with assorted ground cover and perennials, seeded native grasses and wildflowers, and new sod. Per Sheet L101, the areas to be seeded with native grasses and wildflowers will receive temporary irrigation and the sodded areas will have permanent irrigation. "New landscaping to receive temporary drip irrigation except in areas of manicured garden beds. Manicured garden beds to receive permanent irrigation. New sod areas to have design-build permanent irrigation. Maximum 5,000 sf of irrigation." The ground cover for the right-of-way on either

side of the curb cut has not been identified on the plan. Staff would prefer to see additional landscaping in this area.

Boundary buffer – Section 4.07.020.B.4. requires the boundaries of every development to be landscaped to adequately buffer potential incompatibility between adjacent land uses. Screening of parking lots from adjacent properties shall be required. Screening must be provided to eliminate headlight glare from lot onto adjacent property and to screen views into parking lots. Planting buffers along the edge(s) of parking lots must be a minimum of five feet wide or a combination of fencing and a two-foot wide buffer may be used.

The landscape plan (sheet L101) shows a buffer of roughly 7 ft between the property line and the edge of the parking spaces along the West side of the parking lot. There is roughly 5 ft between the east property line and the eastern parking spaces, no shrubs are shown in this area, only sod. To the west of this property is the New Electric Contractor yard, which does not have any landscaping and would require edge treatments between the raw lot and 775 Sawatch. To the east of this property is The Black Hills Energy office. Black Hill Energy does have a landscaped front yard and headlight glare should be minimized from the 775 Sawatch property into the Black Hills Energy property.

Drainage easements – Section 4.07.020.B.5. requires drainage easements to be seeded or sodded with grass or other ground cover and shall be maintained in a manner that promotes proper drainage in conformance with the drainage plan for the subdivision in which the subject lot lies.

There is a 10 ft utility and drainage easement along the rear and sides of the property. The plan does not change any of the drainage within the easement. Public Works has not raised any concerns regarding the existing drainage at this property. The drainage easement is proposed to be mainly seeded, with a small amount of plant beds and sod towards the front of the property.

Sprinkler system – Section 4.07.020.B.8. requires all landscaped areas in nonresidential zone districts to be served by an underground sprinkler system that provides full coverage for landscaped areas. The landscape plan must clearly state that an underground sprinkler system provided full coverage will be provided.

The landscape plan does not specifically state that an underground sprinkler system providing full coverage will be provided. The plan states the following: “New landscaping to receive temporary drip irrigation except in areas of manicured garden beds. Manicured garden beds to receive permanent irrigation. New sod areas to have design-build permanent irrigation. Maximum 5,000 sf of irrigation.” Staff has included a condition of approval reflecting this requirement.

Curb and gutter – Section 4.07.020.B. requires all new construction adjacent to the right-of-way to provide new curb and gutter if curb and gutter does not exist or is in disrepair.

The landscape plan shows the curb cut to be moved to accommodate a new access point to the parking lot and building. New curb and gutter will be provided according to sheet L101.

Section 4.07.040. – General architectural standards.

Building height – Section 4.07.040.B.2. allows for a maximum building height of 35 feet. On a gable, hip, or gambrel roof, any selected reference point on the roof surface that sits directly above the interior of the building must be measured from the existing grade to the average distance between the eaves and the apex of the roof... Existing grade is defined as the natural topography that exists prior to any improvements being made.

This project reaches a maximum building height of 32 feet, as measured according to the code standards.

Building mass, form and orientation – Section 4.07.040.B.3. requires that the building mass, form, length, and height shall be designed to provide variety and visual interest, maintaining a scale appropriate to surroundings. Building styles that are traditionally used within the Town and in rural settings (such as two-story, false fronts and ranch buildings) shall be examples for new construction and renovations... The front façade of buildings shall orient towards the street; the front building façade containing the primary entry way shall parallel the street.

The front façade of the proposed addition, incorporated with the existing building, will front towards the street and the primary entry way is parallel with the street. The scale of the building appears to be in line with other warehouses and buildings in the area. The building is mainly one story but with interior lofts for employees and additional machinery. Viewed from the exterior, parts of the building appear one story while the back is two stories. The style of the addition does resemble a ranch style building.

Architectural detail – Section 4.07.040.B.4. requires that building entrances be visible and accessible from the pedestrian right-of-way along the building's primary street. All mechanical equipment (either on roofs or at ground level), service areas, storage areas, loading docks, and trash receptacles shall be screened from public view.

The building entrance is visible and accessible from the right of way. There is no pedestrian right of way along Sawatch. The general public will not be accessing this property or building, as the use is service oriented rather than retail oriented. The mechanical equipment on the roof is proposed to be screened with a mesh guardrail system. Staff would like to see additional screening/landscaping at the front of the property to minimize the view of the loading docks from the public right-of-way.

Building materials – Section 4.07.040.B.5. suggests that building materials should be sympathetic and harmonious with the natural setting of Eagle. Traditional materials used in construction of buildings in rural mountain communities are wood, stone, stucco, and brick masonry. A variety of materials should be employed within the building façade. Stone or masonry delineating the building foundation is encouraged. Screw down metal roofs are permitted. Façade and roof colors shall have subtle, neutral, or earth tone colors. Muted colors are encouraged. The use of high intensity colors, metallic colors, black, or fluorescent colors is prohibited. Building trim and accent areas may feature brighter, complementing colors, including primary colors, but plastic materials and neon tubing is unacceptable for building trim or accent areas.

This project proposes a metal roof, which is a permitted roofing material in the CG zone district. The primary façade color is a muted, neutral tone with accent areas proposed in green to match

the brick and accent color on the existing building. The project does not introduce any wood, stone, stucco, or brick masonry. The proposed siding material of this addition is metal.

Utility connection – Section 4.07.040.B.7. encourages underground utility connection. Where the connection meets the building, risers, utility meters, panel boxes, etc., are encouraged to be covered with the same or compatible material as the siding material unless expressly prohibited by utility company regulations.

Not enough information has been provided to adequately review the utility connections. Therefore, planning and Public Works request the ability to review the utility connections at time of building permit application. Staff has included a condition of approval reflecting this requirement.

Trash receptacles – Section 4.07.040.B.8. requires areas for trash receptacles to be designed so that the receptacle, as much as possible, cannot be viewed from the street or yard. Access to the receptacles must be provided to allow easy ingress and egress by trash hauling vehicles. Dumpsters must be placed on concrete pads.

A dumpster enclosure is proposed for the dumpster, which is located between the loading bays and (3) parking spaces. Staff has included a condition of approval to review and approve the enclosure at time of building permit application.

Fences and walls – Section 4.04.100.6.b. requires any front yard fence in a nonresidential zone district, whether required or not, to be a maximum of three feet in height and shall be of such material and design as will not detract from adjacent properties. Any fence in any rear yard, whether required or not, shall be a maximum of eight feet in height. No fence or wall shall be located so as to obstruct traffic sight distances. Fence or wall height shall be measured vertically from undisturbed grade.

No fences or walls are proposed as part of this project.

Section 4.07.070. – Chambers Avenue Area.

Building mass, form and orientation – Section 4.07.070.B.3. requires buildings to be similar in size to those found in a rural mountain community. Traditionally, the largest buildings in the vicinity are those found in ranch complexes. The central form of the buildings is usually simple and rectangular, having secondary gables and shed roofed wings... Roofs that are similar to those of traditional ranch buildings, such as simple gable and shed forms, are appropriate. This incremental add-on approach creates visual interest and scale. Roof pitches, trim, window size and placement, and entrance locations also help to delineate the architectural character of a building.

As this project is an addition and has different heights, it appears to meet the incremental add on approach in the code. The form is simple and rectangular with an add on approach to provide interest. The loading bays painted in the accent color also provides visual interest.

Architectural detail – Section 4.07.070.B.4. requires facades that face public rights-of-way to include variation in the wall plane. Facades that are greater than 100 ft in length shall include

spatial definition in the form of wall projections and/or recesses which must have a depth of at least three percent of the length of the façade. Projections and/or recessions must occupy at least 20% of the length of the façade. Group items such as windows to create an interesting composition; these types of features provide visual interest to the pedestrian, reduce monolithic appearance, and add local character to development. Façade projections, recesses, windows and entrances should be integral parts of the building and must not be superficially applied trim, graphics or paint.

The façade facing the right-of-way provides visual interest in that the existing building comes forward significantly more than the addition and there is height variation as well to add visual interest. No part of the front façade is greater than 100 ft in length. Windows are proposed for the front and sides of the addition, as well as awnings over the pedestrian doors. The building façade does not include any superficially applied trim, graphics or paint.

Architectural detail – Section 4.07.070.B.4. allows for flat roofs if the total building size exceeds 10,000 sf, provided that no mechanical equipment is visible and that the roof is aesthetically pleasing and fits into the Town. All flat roofs shall have a surrounding parapet wall. For buildings with a floorplate of from 5,000 sf to 10,000 sf, a multiple roof treatment is encouraged; flat roofs are not permitted. Minimum roof pitch to be 5:12 for all buildings less than 10,000 sf. Loading docks and services areas must be located to the sides and/or rear of building, unless the building abuts the I-70 corridor. If the parcel abuts the I-70 corridor, all services and loading areas must be located to the sides of the building which do not face the primary street or I-70 and must be screened.

No flat rooves are proposed as part of this project. The loading dock is on the front of the building and the applicant has requested a design variance to address this issue. This parcel does not abut the I-70 corridor.

Building materials – Section 4.07.070.B.5. requires building materials similar to those employed historically. Segmented, horizontal siding as traditionally seen on wood and wood-clad ranch buildings is appropriate. Horizontal, segmented siding material to be wood, vinyl, or aluminum; maximum overlap dimension shall be eight inches... Modular panel materials, such as Texture 111 and ribbed sheet metal, are not allowed. All façade materials shall have low reflectivity. Pitched roof materials shall be wood or asphalt shingles, or standing rib seam sheet metal-matte finish.

The existing portion of the building has a small amount of vertical siding and is brick clad. The siding is in the green accent color proposed for the accent color of the addition and the primary color looks to match the color of the brick. The siding in the accent color is horizontal, while the rest is proposed as vertical siding. The code, and specifically the Chamber Avenue area, does not mention vertical siding as being either appropriate or inappropriate. Other buildings in the Chambers Avenue area do have vertical siding. Metal siding is proposed and the Chamber Avenue area lists aluminum as an acceptable siding material. All façade materials are to have low reflectivity and the applicant is aware of this requirement. A “PBR Panel” is proposed and is similar to the Chambers climbing gym and simulates a board and batten look.

Landscape, sidewalks, furnishings and screening – *Section 4.07.070.B.6. requires sidewalks linking the pedestrian system of the block to the building. Formal, irrigated landscape treatment shall not abut native, undisturbed ground without edge treatment. Edge transition shall be in the form of a defined grade break, drainage swale, building wall, mulched and planted bed, or pavement. Opaque fencing shall be restricted to side and rear yards. Fencing is not allowed between front building façade and the primary street. Fencing materials shall be wood, masonry, or split face concrete block. Chainlink may be used for demonstrated security purposes only and must be vinyl-coated black or green and used in conjunction with plant material that is tightly spaced to create a visual screen. Chainlink fencing shall be restricted to rear yards.*

There is no pedestrian system on Sawatch, and the Town is not requiring sidewalks for this project. Most of the landscaping surrounding the building is proposed as native grasses and wildflowers, for which an edge transition is not required. Fencing, opaque or otherwise, is not proposed on this project.

Parking – *Section 4.07.070.B.7. requires all parking lots adjacent to primary and secondary streets to be screened using plant material and/or fencing.*

This project includes a parking lot adjacent to the primary street and proposes screening using plant material.

Section 4.07.140. – Parking standards.

	Total square footage	Code Requirement	Required Parking Spaces	Parking Spaces Provided	Difference
Existing office / break room / employee space square footage	423 sf	(1) space per 250 sf of office or public area	(2) parking spaces	2	
Added office / break room / employee space square footage	608 sf	(1) space per 250 sf of office or public area	(3) parking spaces	3	
Cleaners Equipment Area existing and proposed	33,212	Use not detailed	As Determined by P&Z	20	
TOTAL PARKING SPACES:			25	25	0

Because the proposed (and existing) use does not clearly fit into the land uses under the Parking Standards, staff takes the following into consideration:

4.07.140.C.5. Other uses. For uses not specifically listed herein, the use classification for purposes of parking requirements shall be determined by the Town Planner, based on similarity of the proposed use to the listed use classification. If the Town Planner determines that a proposed use is not comparable to any use listed herein, he shall request the Planning Commission to determine off-street parking requirements for the proposed use at a regular Commission meeting. The Planning Commission shall make such determination based on the following criteria: the similarity of the use to those uses listed herein, the zone district of the property, the need for off-street parking in the area where the property is located, the nature and extent of use of the property by the public, the number of employees who will work on the subject property, and the use capacity.

Based on the use having no wholesale, retail, visitors other than delivery, the inclusion of loading docks, the surrounding uses and zoning, and applicant's narrative stating that the maximum number of employees per shift is 25, staff believes that the requested number of parking spaces is supported by 4.07.140.C.5.

Staff finds that this project is in substantial compliance with the requirements set forth in Chapter 4.07 of the Land Use and Development Code and Standard #2.

STANDARD #3: The proposed development complies with the Town's goals, policies and plans.

The 2010 Eagle Area Community Plan (Plan) generally provides the goals, policies and plans for the Town. The Future Land Use Map designates the property as Commercial. The property also falls within the I-70 Influence Character Area. The relevant intent statements for this area are:

2010 Eagle Area Community Plan:

- 1) Chapter 4: Future Land Use Map – Commercial Intent / Character
 - a. Intent – Provide opportunity for a broad variety of commercial uses important to the local and regional economy and concentrate commercial uses in areas easily accessed by automobiles and trucks.
 - b. Character – Generally auto oriented land uses, with shop and business entrances highly visible from adjacent travel routes and fronted by appropriately sized parking lots. Outdoor storage areas and loading bays are located on the back or sides of properties, and are generally screened from view. Similar architectural features and exterior materials should reflect Eagle's unique identity providing a unified appearance and strong sense of place. Landscaping provides an added unifying element, helps to reduce the perceived scale and mass of buildings.

Staff Comment: The addition to this building will help to expand an existing commercial/light industrial use, thereby contributing in a greater way to the local economy by providing a service and as a job supplier. The location is easily accessed by automobiles and trucks. It does provide loading bays in the front, but this provides easier access for trucks to load and unload. The applicant has requested a design variance to address this concern. The design of the building and extension are similar to other warehouses and buildings found on Chambers and Sawatch.

Landscaping is being proposed to help with screening, provide a boundary buffer between uses and to help reduce the perceived scale and mass of the building.

2010 Eagle Area Community Plan:

2) Chapter 5: Special Character Areas – Interstate 70 Influence Character Area

- a. Portions of the I-70 Influence Character Area are intended to support commercial and industrial sites, exclusive of other uses... Design guidelines have been developed by the Town for the Chambers Avenue, Commercial and Industrial Areas and the North Interchange Area (Market Street). These standards present requirements and/or suggestions for architectural treatments, building materials, and building form and massing and landscaping for these areas.
- b. Planning Principles: Interstate 70 Influence Character Area:
 - B. Maintain existing commercial and industrial zoning in the Chambers Avenue, Market Street, Sawatch Road and Marmot Lane areas.
 - C. Promote sustainable businesses that contribute to the diversification of the local economy.
 - H. Require compatible edge treatments and/or landscaped buffers on the margins of developed areas to assure an appropriate visual and functional transition to adjacent properties.
 - I. Require perimeter landscaping, internal landscape islands and/or screening to minimize the visual impacts of large surface parking lots and outdoor storage areas.

Staff Comment: The project proposes to expand an existing commercial use that is compatible with the zone district and the plans and policies of the character area. The project includes a landscape plan, which proposes landscape screening to minimize the impacts of the parking area.

2017 Town of Eagle Strategic Plan:

1) Major Objective 5: Stimulate Economic Vitality, Development

- a. Eagle's economy is the engine for quality of life. The economic impacts of visitors, and economic development efforts by the Town, should produce benefits for the residents of Eagle in terms of amenities, jobs, wages, infrastructure, and revenue for the Town.

2) Major Objective No. 10: Address Essential Planning and Land-Use Challenges

- a. Support a small-town look and feel for Eagle
- b. Maintain standards that support new development while managing risks to the Town.
- c. Poor planning, or the lack of planning, can lead to negative outcomes in terms of inadequate infrastructure, degraded public services, or negative impacts on the environment.

The Strategic Plan encourages planners and elected/appointed officials to look at and balance several different values; specifically economic development and strong planning that supports the small-town look and feel of Eagle. When it comes to economic development, we are tasked with providing a diverse economy which contributes to the quality of life for residents. By

growing local businesses, jobs are provided for Eagle residents, contributing to a better quality of life and a stronger economy. This project proposes to grow a local business, providing jobs for local residents and helping to strengthen the local economy and provide a better quality of life.

Based on the stated goals, policies and plans noted above; staff finds that this request for a minor development permit is in substantial compliance with Standard #3. The project expands an existing use in a commercial zone district, provides architectural features and landscaping consistent with the surrounding area, and supports the economic growth plan for this area.

DESIGN VARIANCE

Section 4.07.160:

A variance from the strict application of the requirements of Chapter 4.07 may be granted by the body authorizing the development permit where a finding is made that there exists on the property in question exceptional topographical, soil, or other subsurface condition, or other extraordinary conditions peculiar to the site, existing buildings, or lot configuration, such that strict application of the regulation from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the applicant; or that the public good would be better served by granting the variance.

1. Request to allow the loading dock on the front of the building, rather than on the rear or side as required by code. **Moving the loading bays could result in a further reduction of parking spaces, as a greater turning radius would be necessary. The proposed location appears to be the best choice while also satisfying as many of the other code requirements as possible. This area will not have any screening and will be able to be viewed directly from the new access point into the parking lot. The design of the parking bays is consistent with the overall design of the building. Staff finds that due to the shape of the lot, along with the size, location and configuration of the existing building; adding an addition that would be allowed under the maximum lot coverage criteria for this site creates a peculiar and exceptional practical difficulty for adding loading bays and associated vehicle maneuverability.**

STAFF RECOMMENDATIONS

DESIGN VARIANCE

Parking. Through analysis of the Code, it is staff's opinion that the parking requested is in conformance with the parking standards due to the application/use falling under subsection 4.07.140.C.5. *Other Uses*. Based on this subsection and the proposed use, the application meets the minimum number of parking spaces as determined by the Town Planner and the design variance is not necessary.

Front-facing loading docks. Staff recommends approval of the design variance with the finding that due to the shape of the lot, along with the size, location, and configuration of the existing building; adding an addition that would be allowed under the maximum lot coverage criteria for

this site creates a peculiar and exceptional practical difficulty for adding loading bays and associated vehicle maneuverability.

MINOR DEVELOPMENT PERMIT

Staff recommends approval of Minor Development Permit DR20-03 based on Standards (1), (2) and (3) of Section 4.06.020.B. of the Municipal Code with the following conditions of approval. Specifically, that the application:

1. Is in substantial compliance with Sections 4.06.050. through 4.06.070., as the applicant met the requirement for a pre-application meeting and submitted the required documents for a minor development permit; and
2. Is in substantial compliance with Chapter 4.07, with the exception of the design variance requested. The project complies with lighting, landscape, and design standards required in Chapter 4.07; and
3. Based on the stated goals, policies and plans of the 2010 Eagle Area Community Plan and the 2017 Strategic Plan; staff finds that this request for a minor development permit is in substantial compliance with Standard #3. The project expands an existing use in a commercial zone district, provides architectural features and landscaping consistent with the surrounding area, and supports the economic growth plan for this area.

PLANNING AND ZONING COMMISSION POTENTIAL MOTIONS

Below are the Planning and Zoning Commission options related to Minor Development and Design Variance file #DR20-03, minor development permit to build a 24,900 sf addition to an existing 11,681 sf commercial laundry facility in the Commercial General (CG) Zone District:

1. Approve with no conditions: I find the application substantially meets the standards for approval, and move to APPROVE the Minor Development Permit, with a design variance to allow for loading bays on the front of the building, with no conditions, based on the following findings:
2. Approve with conditions: I find the application substantially meets the standards for approval, and move to APPROVE the Minor Development Permit, with a design variance to allow for loading bays on the front of the building, based on the following findings and with the following condition(s) of approval:
3. Continue (table) the application: I find that the applicant has not provided sufficient information to review the application per the standards for approval and move to CONTINUE the request for Minor Development Permit, with a design variance to allow for loading bays on the front of the building, approval to the next regularly scheduled meeting. (Provide staff and the application detail regarding information needed for a decision).
4. Denial: I find that the application does not substantially meet the standards for approval and move to DENY the Minor Development Permit, with a design variance to allow for loading

bays on the front of the building; based on the following findings: (Cite all Code sections and/or Plan policies that resulted in motion for denial)

DESIGN VARIANCE MOTION:

I move to approve the Design Variance associated with file #DR20-03 to allow for the proposed front facing loading docks with the following finding of fact:

FINDINGS OF FACT:

1. That due to the shape of the lot along with the size, location, and configuration of the existing building, adding an addition that would be allowed under the maximum lot coverage criteria for this site creates a peculiar and exceptional practical difficulty for adding loading docks and associated vehicle maneuverability.
2. With the rationale outlined in the staff report, the Design Variance for the parking spaces is unnecessary.

MINOR USE PERMIT MOTION:

I move to approve File #DR20-03 for a Minor Development Permit for a Service Establishment, Commercial Cleaners with the following findings of Fact:

FINDINGS OF FACT:

The proposal, with the following conditions of approval is in compliance with the applicable sections of Title 4 of the Municipal Code.

IF APPROVED, THE PLANNING & ZONING COMMISSION MAY CONSIDER THE FOLLOWING SUGGESTED CONDITIONS OF APPROVAL:

1. No certificate of occupancy shall be issued until all required landscape improvements are installed per Section 4.07.020.C. of the Land Use and Development Code. No Temporary Certificate of Occupancy shall be issued until either, all required landscape improvements are installed, or a letter of credit or bond has been accepted by the Town per Section 4.06.010.G.1.
2. The landscape plan shall be revised to comply with the following: an underground sprinkler system providing full coverage will be provided
3. Applicant to provide specification for rooftop mechanical screening for staff to review and approve at time of building permit application.
4. Applicant to provide specification for dumpster enclosure/screening for staff to review and approve at time of building permit application.
5. Applicant to submit samples of façade material for staff to review and approve at time of building permit application.
6. Applicant to provide any and all requested utility connection information for staff to review and approve at time of building permit application.

7. The development permit shall expire three years from its effective date (September 15, 2023), unless application for a building permit is made or unless application for renewal of the development permit is approved. An administrative extension may be approved for an additional six months, without notice.
8. The development permit shall expire upon expiration of the building permit if such expiration occurs at least three years following the effective date of the development permit.
9. The development permit shall expire upon abandonment of the development, if such abandonment occurs at least three years following the effective date of the development permit. Abandonment shall be defined as the date one year after the last significant progress toward the construction of the development occurred.



TOWN OF EAGLE
COMMUNITY DEVELOPMENT
200 BROADWAY • PO BOX 609 • EAGLE, CO 81631
PHONE: 970-328-9655 • FAX: 970-328-9656
www.townofeagle.org

LAND USE & DEVELOPMENT APPLICATION

Pursuant to the Land Use & Development Code, Title 4

ZONING REVIEW	DEVELOPMENT REVIEW	SUBDIVISION REVIEW
☐ Special Use Permit ☐ Zoning Variance ☐ Rezoning ☐ Temporary Use Permit ☐ Amendment to Zone District Regulations ☐ Encroachment Permit	☒ Minor Development Permit ☐ Major Development Permit PLANNED UNIT DEVELOPMENT (PUD) REVIEW ☐ PUD Zoning Plan ☐ PUD Development Plan	☐ Concept Plan ☐ Preliminary Plan ☐ Final Plat ☐ Lot Line Adjustment ☐ Condominium / Townhouse ☐ Minor Subdivision

PROJECT NAME Western Slope Laundry Addition

PRESENT ZONE DISTRICT Commercial General **PROPOSED ZONE DISTRICT** _____
(if applicable)

LOCATION

STREET ADDRESS 775 Sawatch Road

PROPERTY DESCRIPTION

SUBDIVISION Eagle Commercial Park **LOT(S)** 11 **BLOCK** 2
(attach legal description if not part of a subdivision)

DESCRIPTION OF APPLICATION/PURPOSE Addition to existing facility for new equipment and expansion

APPLICANT NAME NDG Architecture **PHONE** (970) 471-0698

ADDRESS PO Box 634, Edwards, CO 81632 **EMAIL** _____

OWNER OF RECORD MIM Investments LLC **PHONE** (970) 393-0191

ADDRESS PO Box 1889, Silverthorne, CO 80498 **EMAIL** coloradomountaincleaners@gmail.com

REPRESENTATIVE* _____ **PHONE** (970) 471-0698

ADDRESS PO Box 634, Edwards, CO 81632 **EMAIL** _____

*A representative must submit an affidavit or power of attorney signed by the property owner of record authorizing the representation.

APPLICATION SUBMITTAL ITEMS:

The following submittal materials must be submitted in full before the application will be deemed complete (please check all items that are being submitted):

- ☒ Applicable fees and deposits.
- ☒ Project Narrative, describing the project, its compliance with any applicable review criteria, any impacts to the surrounding area, and any other relevant information.
- ☒ Surrounding and interested Property Ownership Report (see project specific checklist for more information).
- ☐ Proof of Ownership (ownership & encumbrance report) for subject property.
- ☒ Site Plan, drawn to scale and depicting the locations and boundaries of existing and proposed lots and structures.
- ☒ Project specific checklist.

FEES AND DEPOSITS:

See Eagle Municipal Code Section 4.03.080

1. Application fees shall be paid in full at the time of the filing of the application and unless paid, the application shall not be deemed complete. All fees are nonrefundable.
2. As described in Eagle Municipal Code § 4.03.080, third-party consultants may be necessary for the review and processing of applications. These costs ("pass-through costs") must be paid by the applicant. If pass-through costs are expected, the applicant must pay a deposit at the time the application is filed. If at any time the deposit does not fully cover the pass-through costs, the applicant must pay another subsequent deposit before the Town will continue processing the application.
3. The Town may withhold the recording of any Subdivision Final Plat or Development Plan or the signing of any Resolution or Ordinance until all pass-through fees are paid in full.
4. Within 30 days of approval or denial of an application, any remaining deposit shall be returned to the applicant. If an application is withdrawn, any remaining deposit shall be returned to the applicant within 60 days.

I have read the application form and certify that the information contained herein is correct and accurate to the best of my knowledge. I understand that it is my responsibility to provide the Town with accurate information related to this application. I UNDERSTAND THAT FILING AN APPLICATION IS NOT A GUARANTEE THAT THE APPLICATION WILL BE APPROVED.

Signature _____

Date 07/28/2020

FOR OFFICE USE ONLY

DATE RECEIVED _____ BY _____ FILE NUMBER _____
REVIEW FEE _____ DATE PAID _____ RECEIVED BY _____
DATE CERTIFIED COMPLETE _____ BY _____
P&Z HEARING DATE _____ DECISION _____
BOT HEARING DATE _____ DECISION _____

AUGUST 26, 2020

Town of Eagle Planning Department

Chad Phillips
200 Broadway
PO Box 609
Eagle, CO 81631

**RE: Minor Development Permit – DR20-03 775 Sawatch
775 Sawatch Road, Eagle, CO**

On behalf of the owners of Western Slope Laundry, NDG Architecture is submitting the following Minor Development Permit application for the expansion of the commercial laundry building at 775 Sawatch Drive. The property is located in the Commercial General Zone District and has an existing one-story building, with mezzanine, currently. The current and proposed use is a Use by Right per Section 4.04.070, "Service Establishment".

The Owners would like to expand the existing 11,681 sq. ft. facility with an additional 24,900 sq. ft for a total building size of 35,407 sq. ft.. The building footprint is proposed to be 28,407 sq. ft.. This new expanded facility is for the purpose of upgrading their equipment through-out as well as opportunity for expansion in the future. Both the existing building and the new building will be fully sprinkled.

Design Variances

The following design variances are being requested:

- A design variance is being requested for the parking based on actual number of employees working per shift rather than based on the square footage per space. (Section 4.07.140 – Parking Standards) *The addition is for large more efficient and automated equipment, which reduces the need for labor force. While we are increasing the building the workforce will stay the same. **Parking being an important aspect of any development and business we are asking to use the actual number of employees as the count for parking. This also helps promote carpooling and public transportation, which most of the employees utilize. (Land Use Policy 3.1.F-G)***
- A design variance is being requested to allow the loading dock on the front of the building rather than the rear or side as required by code. As an interior rather than a corner lot; it is not feasible to expand the building and use without relocation the loading dock to the front of the building. we have designed the loading dock set back between the existing building and the proposed expansion to help minimize the appearance.

Town of Eagle Goals and Policies

The laundry facility currently provides services to all of Eagle County and expanding into Pitkin County. We feel this expansion will continue to fit into the surrounding area considering the use will be maintained and the building is similar to some of the surrounding area buildings. Located between Chambers Ave and the railway most of the surrounding business are service oriented yet light industrial in character.

Per the 2010 Eagle Area Community Plan, Chapter 2: Vision, Item #9 describes a Diversification and Balance the Economic Base which a diversification in businesses and increase the towns revenues. We believe an expansion of this type of business helps promote a diversified economic base.

Under Chapter 3 Land Use of the 2010 Eagle Area Community Plan – Land Use Compatibility – encourages uses complimentary to adjacent uses. This being an existing use and similar to adjacent business as a service-oriented business; Black Hills Energy, Horizon Roofing, Self-Storage Facility, Rail Road. We believe this fits the goals of compatibility. (Land Use Policy 2.2)

Additionally, we feel this project also fits the compatibility in the sense of location under Chapter 3, Item 2, of the 2010 Eagle Area community Plan, the area being near the freeway access and not near residential areas creates an easy access for deliveries. (Land Use Policy 3.1)

Chambers Avenue Area:

Goals:

- i. *Although the areas will include traditional commercial and industrial uses, the areas can have a positive, enduring character through careful site planning and architectural styling. Site planning of commercial pads should be considerate of the likely layout of future abutting parcel development... Parking layout and its visual and functional impact on adjacent parcel utilization will be a very important consideration in addition to the enforcement of site landscaping requirements. The use of indigenous trees and the requirement, when possible, of larger sizes will help establish an attractive context here for future development activity. In addition, architectural design that reflects a mountain-style and celebrates the use of local materials and building details should be strongly encouraged.*
- ii. *Promote coordinated physical organization by enforcing setbacks and landscaped buffers.*
- iii. *Encourage high quality of individual development by utilizing a palette of materials and architectural details, which reflect traditional building forms of the region.*

Section 4.07.070.B.3. Building mass/form/orientation – Buildings shall be similar in size to those found in a rural mountain community. Traditionally, the largest buildings in the vicinity are those found in ranch complexes. The central form of the buildings is usually simple and rectangular, having secondary gable and shed roofed wings. Porches shall project from the central form and be covered by a separate roof. Roofs that are similar to those of traditional

ranch buildings, such as simple gable and shed forms, are appropriate. This incremental addition approach creates visual interest and scale. Roof pitches, trim, window size and placement, and entrance locations also help to delineate the architectural character of a building.

The collection of the proposed building forms are designed to reflect large barn styles with the largest of the sections being a low slope shed form. this form is similar to what was approved for ABWD, window company, on Chambers Ave. The western side of the addition was designed to match the existing building facing Sawatch Drive. Coming straight from the Municipal Code the central loading dock is a deep projected porch like feature.

Utilities/Public Facilities

All utilities are existing, while the electrical service currently, single phase 800 amps, will need to be upgraded as future expansion happens the Owners intend to prepare during construction for this expansion. We have been in contact with Holy Cross Energy, preliminarily, to discuss location of a new ground transformer in the north-west corner of the property near an existing vault. Gas consumption is expected to increase slightly with the addition of 5-6 new commercial gas heaters. Water is served by an existing 6" water line to the building. with the new equipment water consumption is anticipated to go down. ***The new average water usage will be 5 to 10% less of our current usage due to the fact that we will reuse up to 2000 gallons per hour in our conventional washer system of the lightly soiled linen wash water from our tunnel washers. This would be the case if all of our smaller washers were running at the same time (best case scenario). The new laundry equipment will be able to achieve 0.4 gallons per pound in the tunnel washers; the same as our current equipment.***

To sum up the expansion: we hope to be able to complete all of our work in a 10 hour day, eliminate overtime, save on water and gas usage by reclaiming heat and reusing the lightly soiled water, and add double redundancy on our critical equipment..

The proposed system will allow them to re-use the same water up to three times, the water is then cleaned through a shaker filter system and then through a heat exchanger brought down to a 60-degree temperature by heat pumps and then sent out to the sewer system. Attached are flow diagrams of the existing system in use and the proposed new system as well as information on the heat reclamation system.

We believe the impact on other public facilities such as fire protection, emergency service, parks, and schools, will not be affected by this request as an existing facility is in place and the use is existing. The facility expansion is for new updated equipment.

Parking

We are currently requesting a variance on parking due to the nature of the machinery being used and the actual number of employees working at any given time. In addition, many of their employees either use public transportation or carpool. The new update equipment is primarily

automated. They need staff to watch the equipment, sort through material, package and load material. The equipment does the rest.

It is not clear as to what calculation should be used for the parking count, so we have presented three different calculations. *the following areas were not part of the count because they would be used by the working employees; restrooms, break room, loading dock, mechanical and machine room*

Per Section

4.07.140

Use	Sq. Ft.	Required Spaces			
	Total square footage	Code Requirement	Required Parking Spaces	Parking Spaces Provided	Difference
Existing office / break room / employee space square footage ¹	423 sf	1 space per 250 sf of office or public area	2 parking spaces		
Added office / break room / employee space square footage ^{1,2}	608 sf	1 space per 250 sf of office or public area	3 parking spaces		
Existing warehouse area ³	9,283 sf	1 space per 1,000 sf of floor area	10 parking spaces		
Added warehouse area (includes mezzanines)	23,929.5 sf	1 space per 1,000 sf of floor area	24 parking spaces		
TOTAL PARKING SPACES:			49	25 ⁴	24

1 - Excludes restrooms due to use for employees working

2 - Includes Chief Office and Machine Shop

3 - Includes portion of new expanded Mechanical Room

4 - Actual employee count per shift, Most of whom take public transportation or car pool

Traffic

Additionally, there are three existing loading docks on the current building. In the proposed addition the three existing loading docks will be removed and replaced on the new building. the

business utilizes **26'** cube trucks for pick-up and delivery of laundry. Most of the day the trucks are out on route. The trucks will return at differing times through-out the day. Usually, first thing in the morning, once or twice during the day, and final at the end of working day.

The development guidelines state loading docks should be either in the back of a building or on the side. While our loading docks are proposed in the front of the building we feel it would be acceptable given the amount the loading area is set back from the front of the existing build and the location of the building itself facing the railway on an secondary road.

Fire Protection

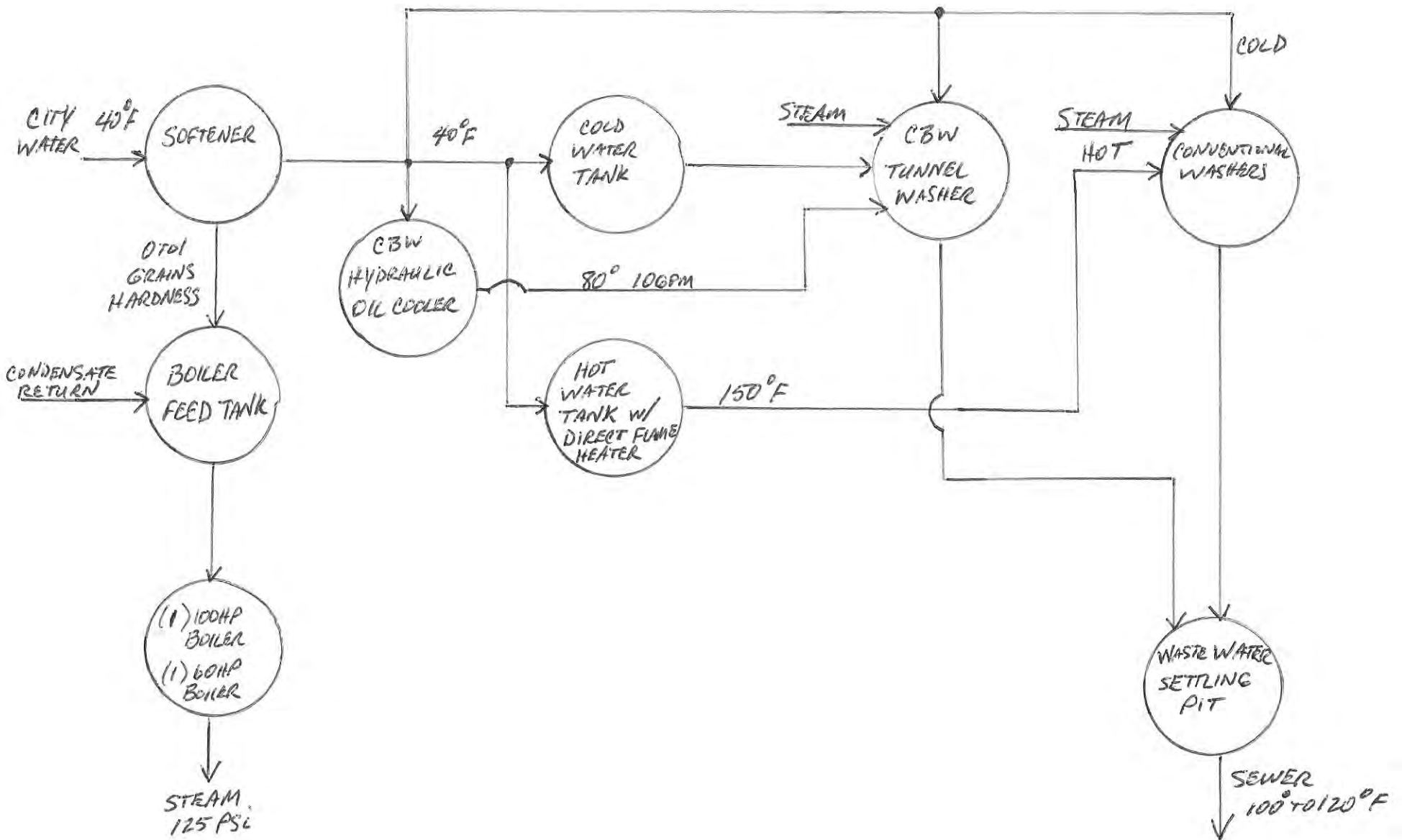
the existing building is equipped with an automatic fire protection system. this system will be expanded to the new addition in accordance with Section 4.07.150 and the Greater Eagle Fire District.

Phasing

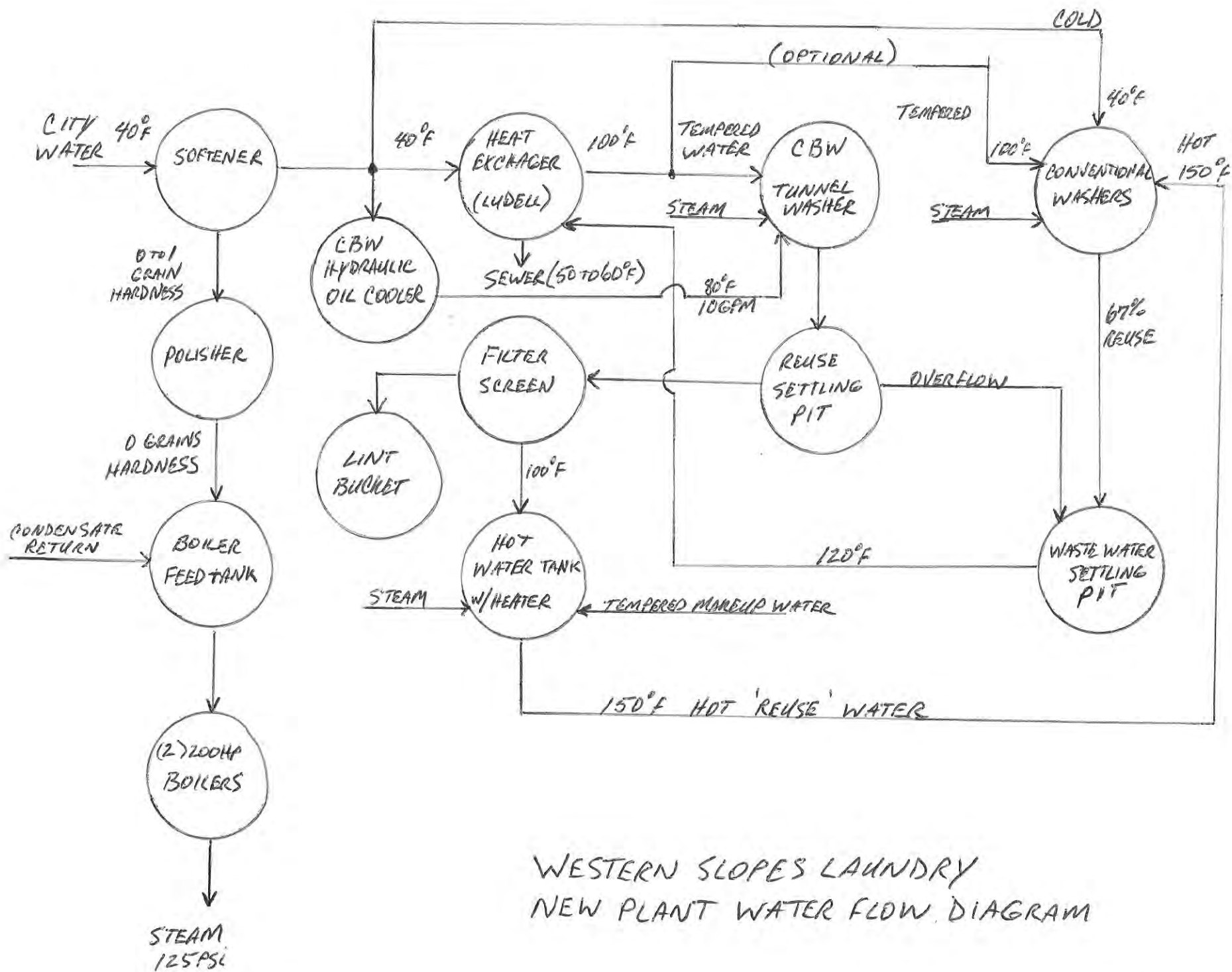
The Owners would like to continue using the facility while the new addition is being built. They propose to use a single loading dock are currently at the font of the building along Sawatch Road. When the building is dried-in the will begin to prepare the through wall demolition. After operation are up and running in the new addition the existing loading dock used in Phase one will be demo'd and the new parking area will be installed in its location.

Cost Estimate

We are currently pricing out the building addition, but preliminary budgeting has a figure of between \$1.2 – 1.3 million. This does not include the equipment, only building, sitework, mechanical, and electrical.



WESTERN SLOPES LAUNDRY
EXISTING PLANT WATER FLOW DIAGRAM



The background of the entire page is a blue-tinted photograph of industrial machinery. It features large vertical pipes, various valves, a pressure gauge, and electrical control boxes. At the bottom, there are large industrial motors. The overall scene is a complex industrial environment.

PROPOSAL FOR: **WESTERN SLOPE LAUNDRY**

775 SAWATCH RD
EAGLE, CO 81631

PROPOSED BY
LUDELL MFG. CO.
A SUBSIDIARY OF
ELLIS CORPORATION
QUOTE NO: Q11254
07.01.2020

5200 WEST STATE STREET
MILWAUKEE, WI 53208
414.476.9934

WWW.LUDELLMANUFACTURING
.COM

WWW.ELLISCORP.COM

Page 30 of 59

PROCESS WATER SYSTEMS: REQUEST FOR PROPOSAL



POTENTIAL SAVINGS

Being able to pre-heat the incoming supply water will drastically reduce your energy bills.

A General Cost Savings has been calculated for your requested Wastewater Heat Recovery System.

Considerations:

- 100 GPM @ 8 HRS/DAY, 7 DAYS/WK
- PREHEAT WATER FROM 45 TO 105 DEG. F.
- 3 mBTU/H (PROJECTED HOURLY BTU LOADING)
- COST OF GAS @ \$4.30/Mcf
- TYPICAL BOILER EFFICIENCY OF 75%

The quoted Ludell Model: 4-6-30 Heat Reclaimer will yield the annual potential savings based on the considerations noted above:
\$26,825.00 PER YEAR!

Ludell Manufacturing Company would like to thank you for the opportunity to be a part of your facility in Eagle, CO.

As a premier designer and manufacturer of Industrial Laundry Water Systems, Ludell will provide your company attentive support throughout the duration of the project, and beyond through continued technical support.

Our manufactured components are pre-packaged, decreasing installation costs, and providing longevity through proper material selections and craftsmanship.

Our PLC-Based "Auto-Balancing" Controls will maximize your system's efficiency, decrease energy costs, and increase productivity by utilizing Ellis Corporation's Intuitive Maintenance Programming, "UPTIME" (AT NO ADDED COST).

Additionally, Remote Monitoring Capability, Technical Support, and access to our Free Maintenance Video Library will also be included with this system.

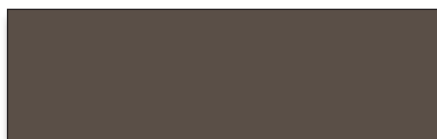
Once again, thank you for this opportunity! We are excited to continue our longstanding relationship with ImageFIRST!



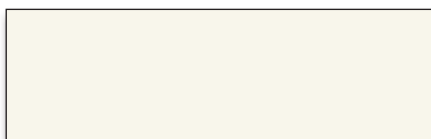
SPECTRALITE 3000

Roof & Wall Cladding - Kynar 30 YR WARRANTY

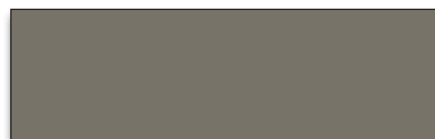
STANDARD COLOR SELECTION



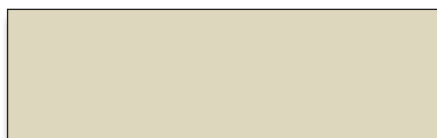
Medium Bronze SRI 34 TE .85



Cool White SRI 91 TE .86



Slate Gray SRI 41 TE .87



Almond SRI 62 TE .84



Classic Green SRI 33 TE .86



Brownstone SRI 34 TE .88



Sandstone SRI 63 TE .86



Colonial Red SRI 35 TE .85

PREMIUM COLOR SELECTION

The colors below are premium colors and are available with extra lead time and a minimum order.



Stone Gray SRI 42 TE .85



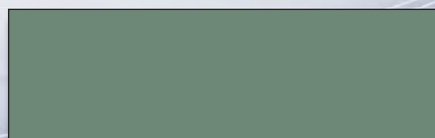
Roman Blue SRI 11 TE .85



Gallery Blue SRI 27 TE .86



Brite Red SRI 35 TE .83



Colony Green SRI 38 TE .86



ALL of the colors listed above are Energy Star Rated.



*Rigid has partnered with Energy Star to offer you a wide selection of colors and also help save on energy costs and the environment. **Choose Smart - Choose Rigid.***

The colors above are for informational purposes only, color chips are available upon request for color matching. SRI and TE Values are subject to change. Consult your District Manager for details.



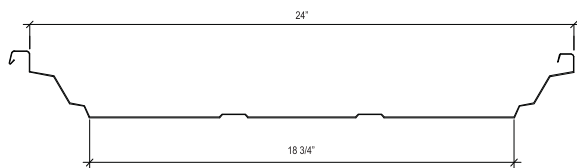
www.RigidBuilding.com

When the longest life with minimal color fading and chalking is needed, Spectralite 3000 should be specified. Spectralite 3000 is a full strength 70% Kynar® or Hylar® 5000 based coating.

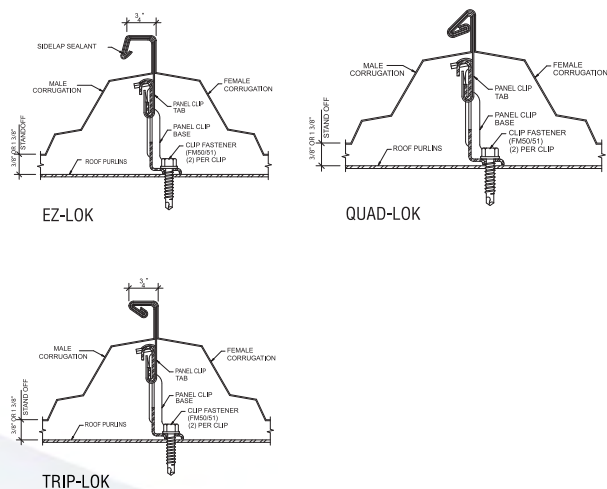
- *Unsurpassed in its resistance to the sun's damaging UV rays.*
- *Offers quality and aesthetics regardless of your project location.*
- *Offers ease of clean up and the ability to fight dirt accumulation.*
- *30 year limited warranty available upon written request.*

HI-TECH Series Roof Panel

The Hi-Tech Series Roof System utilizes the TS-364 panel system's technology which provides superior wind and weather protection under all loading conditions.

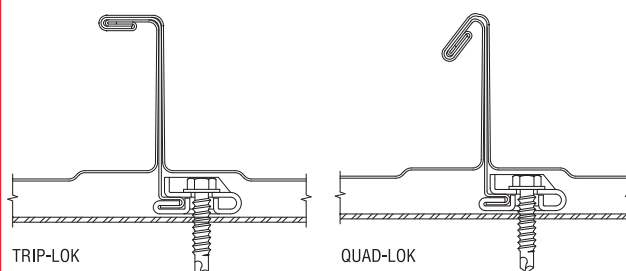
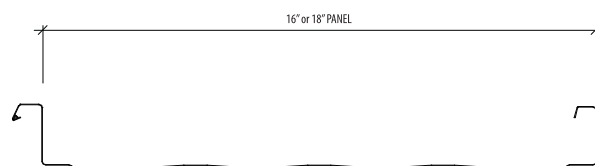


Utilizing a unique patented seam design, the series offers three lock seam features:



PLATINUM Series Roof Panel

The Platinum Series is a revolutionary patented standing seam roof system that incorporates two unique systems: The Triple-Lok seam for normal wind speeds, and the Qual-Lok for coastal areas and other high wind speed zones.



SUSTAINABLE BUILDING

Rigid strives to help protect the environment, which is why our products are made of approximately 89.7% recycled material. In addition to being made with recycled material, it can also be recycled at the end of its life-span helping to conserve energy and reduce waste.

Rigid offers over 30 Energy Star approved colors to aide in the reduction of energy costs through the building envelope.

HEADQUARTERS

18933 Aldine Westfield
Houston, TX 77073
p. 281-443-9065 - f. 281-443-9064

REGIONAL SALES OFFICE

9250 East Costilla Ave Suite 325
Greenwood Village, CO 80112
p. 303-799-4579 - f. 303-799-6377

www.RigidBuilding.com



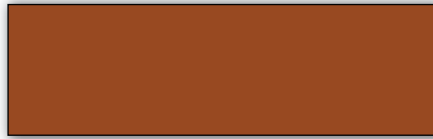
SPECTRALITE 2000

Roof & Wall Cladding - SMP 40/30 YR WARRANTY

STANDARD COLOR SELECTION



Solar White* SRI 86 TE.85



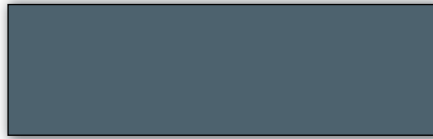
Rustic Red SRI 38 TE.86



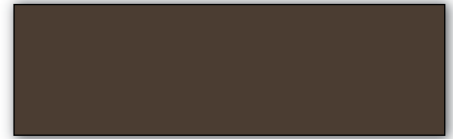
Colony Green SRI 27 TE.86



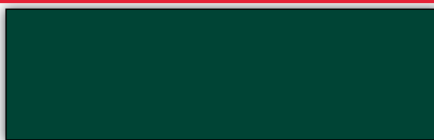
Saddle Tan* SRI 53 TE.86



Hawaiian Blue SRI 31 TE.86



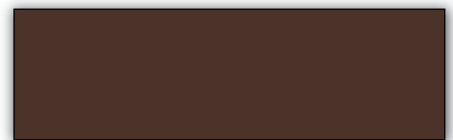
Burnished Slate SRI 35 TE.86



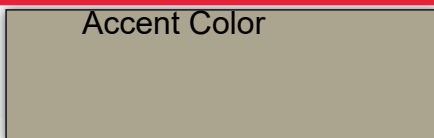
Fern Green SRI 37 .86



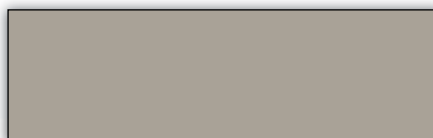
Crimson Red SRI 42 TE.85



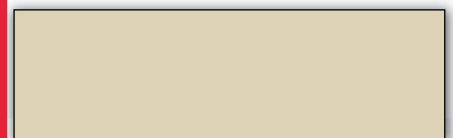
KoKo Brown SRI 37 TE.86



Desert Sand SRI 47 TE.87



Ash Gray* SRI 52 TE.86

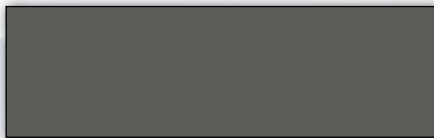


Light Stone* SRI 65 TE.86

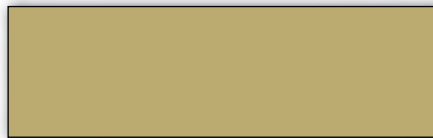
Primary Color

PREMIUM COLOR SELECTION

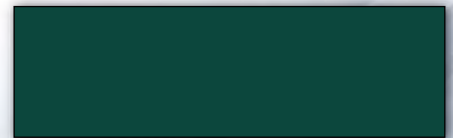
The colors below are premium colors and are available with extra lead time and a minimum order.



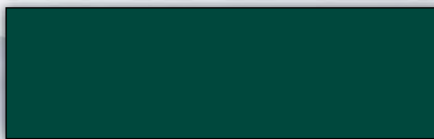
Charcoal Gray SRI 39 TE.86



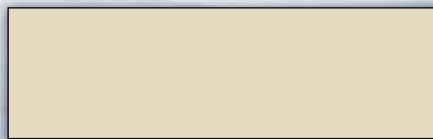
Aztec Gold SRI 50 TE.86



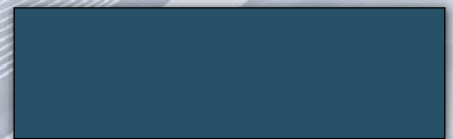
Forest Green SRI 35 TE.86



Evergreen SRI 37 TE.86



Ivory SRI 79 TE.86



Gallery Blue SRI 24 TE.87



ALL of the colors listed above are Energy Star Rated.



Rigid has partnered with Energy Star to offer you a wide selection of colors and also help save on energy costs and the environment. **Choose Smart - Choose Rigid.**

The colors above are for informational purposes only, color chips are available upon request for color matching.

*Also available as a Spectralite 1000 color. SRI and TE Values are subject to change. Consult your District Manager for details.



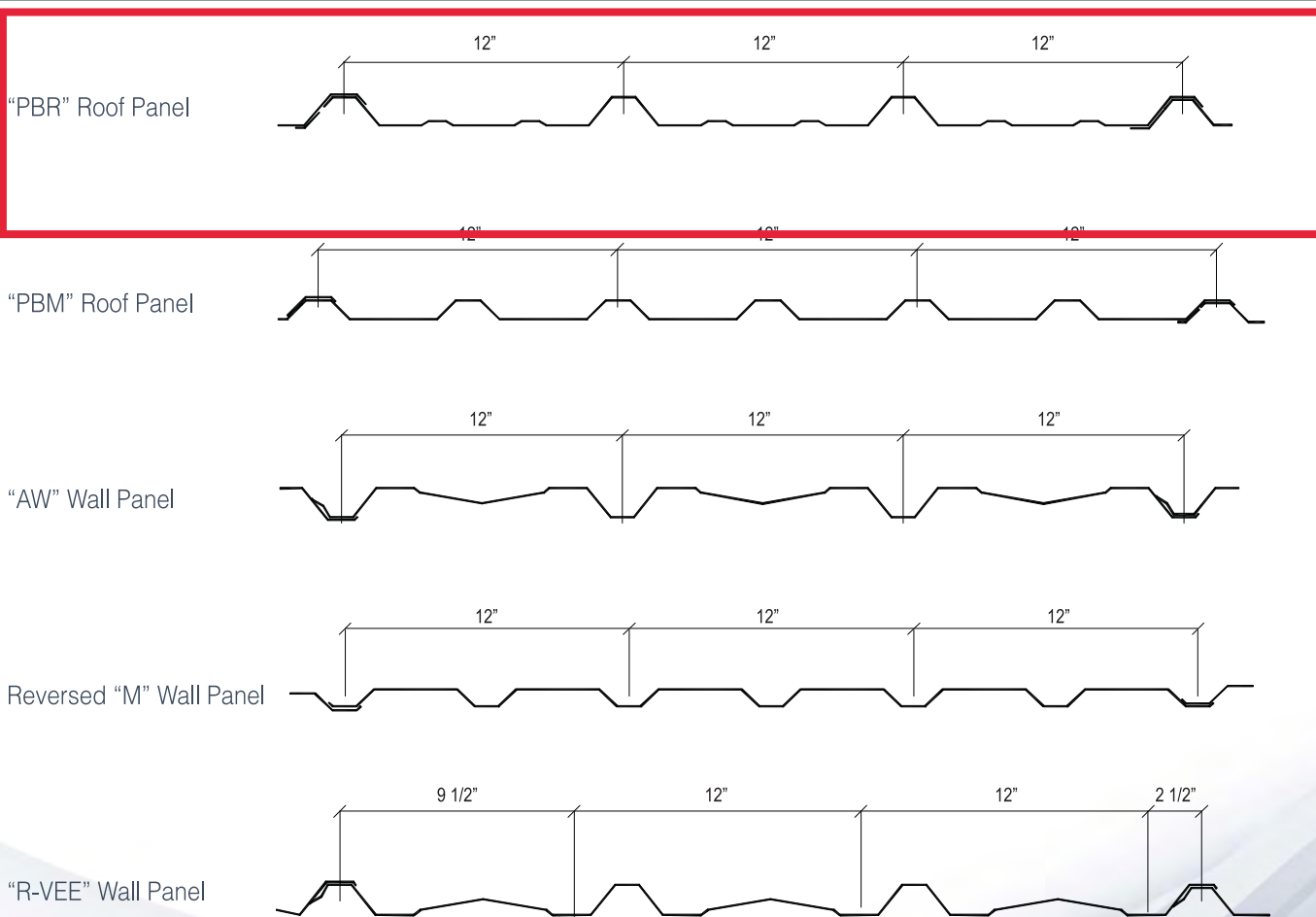
www.RigidBuilding.com

SPECTRALITE 2000 - SMP

Spectralite 2000 silicone-modified polyester (SMP) is a proven performer. It is an excellent exterior finish for pre-engineered buildings including agricultural buildings, commercial buildings, residential applications and components.

- ▶ *Minimizes chalking and fading by resisting the detrimental effects of the sun's UV rays, rain, humidity and weathering.*
- ▶ *Spectralite 1000 is the economy class of coatings designed for the cost sensitive jobs. Spectralite 1000 offers good color retention, exterior durability, abrasion resistance to the sun, rain and other weather elements. Colors listed with an * are available in Spec 1000 colors.*
- ▶ *40yr/30yr limited warranty available upon written request.*

PANEL PROFILES



SUSTAINABLE BUILDING

Rigid strives to help protect the environment, which is why our products are made of approximately 89.7% recycled material. In addition to being made with recycled material, it can also be recycled at the end of its life-span helping to conserve energy and reduce waste.

Rigid offers over 30 Energy Star approved colors to aide in the reduction of energy costs through the building envelope.

HEADQUARTERS
18933 Aldine Westfield
Houston, TX 77073
p. 281-443-9065 - f. 281-443-9064

REGIONAL SALES OFFICE
9250 East Costilla Ave Suite 325
Greenwood Village, CO 80112
p. 303-799-4579 - f. 303-799-3677

www.RigidBuilding.com



C-Series 3000K 1950Lm Wall Mounted Area Light
Textured Architectural Bronze

16234AZT30 (Textured Architectural Bronze)



Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Certifications / Qualifications

Commercial Grade	Yes
------------------	-----

Certifications/Qualifications

Location Rating	CSA UL Listed Wet
	www.kichler.com/warranty

Dimensions

Extension	14.00"
Weight	1.13 LBS
Height	5.50"
Width	6.25"

Mounting/Installation

Interior/Exterior	Exterior
Mounting Style	8' - 10'

Photometrics

Color Rendering Index	70
Delivered Lumens	1950
Kelvin Temperature	3000K

Primary Lamping

Expected Life Span	60000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	20W
# of Bulbs/LED Modules	10
Max Wattage/Range	20W

Product/Ordering Information

SKU	16234AZT30
Finish	Bronze
Style	Other
UPC	783927556699

Specifications

Material	ALUMINUM
----------	----------

Additional Finishes

	Textured Architectural Bronze
--	-------------------------------

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
Toll free: 866.558.5706 or kichler.com

Notes:
1) Information provided is subject to change without notice.
All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.



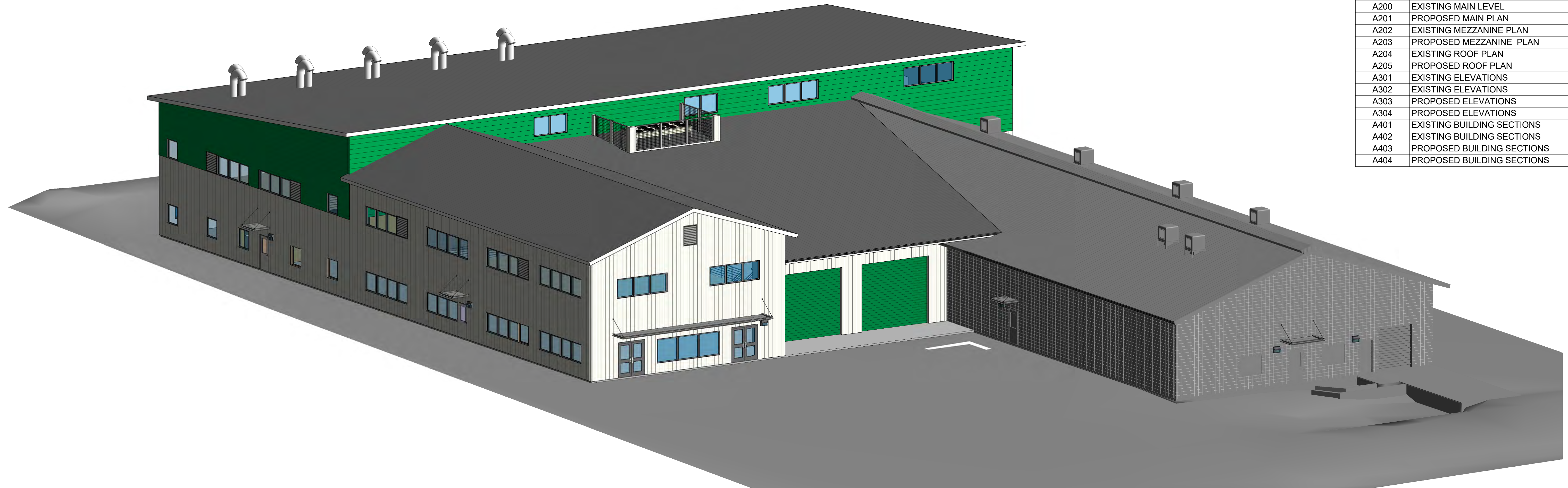
WESTERN SLOPE LAUNDRY

775 SAWATCH DR.

EAGLE, CO 81631

DEVELOPMENT PERMIT

08-27-2020



SHEET LIST	
Sheet #	Sheet Name
A000	COVER
A101	PROPOSED ARCHITECTURAL SITE PLAN
L101	PROPOSED LANDSCAPE PLAN
C-1	CIVIL COVER SHEET
C-2	EXISTING CONDITIONS & REMOVAL PLAN
C-3	SITE PLAN
C-4	GARDING AND DRAINAGE PLAN
C-5	EROSION CONTROL PLAN
C-6	Unnamed
A200	EXISTING MAIN LEVEL
A201	PROPOSED MAIN PLAN
A202	EXISTING MEZZANINE PLAN
A203	PROPOSED MEZZANINE PLAN
A204	EXISTING ROOF PLAN
A205	PROPOSED ROOF PLAN
A301	EXISTING ELEVATIONS
A302	EXISTING ELEVATIONS
A303	PROPOSED ELEVATIONS
A304	PROPOSED ELEVATIONS
A401	EXISTING BUILDING SECTIONS
A402	EXISTING BUILDING SECTIONS
A403	PROPOSED BUILDING SECTIONS
A404	PROPOSED BUILDING SECTIONS

NDG
ARCHITECTURE
970.471.0698 | BNUTKINS@NDG.COM

AL

775 SAWATCH DR.
EAGLE, CO 81631
DEVELOPMENT PERMIT

b #
302

Issue Date
3-27-2020

OVER

[illegible]

A000



- 1 SITE PLAN
SCALE: 1" = 20'-0"



Lot Area	1.402 Acre	61,071.12 sq. ft.
Zoning	Commercial General	
Min. Lot Size	20,000 sq. ft	
Max Bldg. Ht.	35'	
Max Floor Area	150%	
Max Lot Coverage	50% Building	30% All Other
Setbacks	Front Yard - 25'	
(Proposed 16' - 0")	Side Yard - 12.5' or half building ht.	
	Rear Yard - 25'	

	EXISTING	PROPOSED	ALLOWED/REQ.
Building Area	11,026 sq. ft.	35,606 sq. ft.	91,906.68 sq. ft
Building Height (max)	28'- 7 3/4"	35'-0"	35'-0"
Building Height (mid-point)		31'-11 1/4"	22'- 3 7/8"
Building Coverage	10,385.75 sq. ft.	29,453.4 sq. ft	30,535.56 sq. ft.
Impervious Coverage	16,800 sq. ft.	14,119.72 sq. ft.	18, 321.34 sq. ft.
Landscape Coverage	34,038.85 sq. ft.	17,283.1 sq. ft.	12, 214.2 sq. ft.

Per Section 4.07.140

Use	Sq. Ft.	Required Spaces			
	Total square footage	Code Requirement	Required Parking Spaces	Parking Spaces Provided	Difference
Existing office / break room/ employee space square footage ¹	423 sf	1 space per 250 sf of office or public area	2 parking spaces		
Added office / break room / employee space square footage ^{1,2}	608 sf	1 space per 250 sf of office or public area	3 parking spaces		
Existing warehouse area ³	9,283 sf	1 space per 1,000 sf of floor area	10 parking spaces		
Added warehouse area (includes mezzanines)	23,929.5 sf	1 space per 1,000 sf of floor area	24 parking spaces		
TOTAL PARKING SPACES:			49	25 ⁴	24

- 1 - Excludes restrooms due to use for employees working
- 2 - Includes Chief Office and Machine Shop
- 3 - Includes portion of new expanded Mechanical Room
- 4 - Actual employee count per shift, Most of whom take public transportation or car pool

Parking Landscape Area	Sq. Ft.	Percentage
Parking Lot	12,947 sq. ft.	
Required Landscape		10% (1,295 sq. ft)
West side of parking lot	2,323.8 sq. ft	17.90%
East Side of parking lot	729 sq. ft.	5.60%

SURVEYOR NOTES:

- 1) DATE OF SURVEY: 5/7/2020.
- 2) SURVEY HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 4) BEARINGS AND DISTANCES ALONG PROPERTY LINES SHOWN HEREON ARE ONLY SHOWN ON THE SUBDIVISION PLAT ONLY. A BOUNDARY SURVEY WOULD BE NECESSARY TO DETERMINE THE TRUE DIMENSIONS OF THE LOT AND SETBACKS, WHICH MAY VARY FROM THE PLATTED DIMENSIONS.
- 5) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
- 6) BASIS OF PROPERTY LINE LOCATION: MONUMENTS FOUND MARKING THE MOST NORTHEASTERLY PROPERTY LINE LOT 4.
- 7) BASIS OF ELEVATION: SEWER MANHOLE MH F5 INV. ELEV. = 6609.7'.
- 8) BUILDING SETBACK INFORMATION IS NOT PLATTED. PRIOR TO ANY DESIGN OR CONSTRUCTION IMPROVEMENTS ON THIS PROPERTY, TOWN OF EAGLE SHOULD BE CONTACTED FOR CORRECT BUILDING SETBACK INFORMATION.
- 9) THE PLAT RECORDED AT RN 170407 WAS USED FOR THIS SURVEY.
- 10) 1' CONTOUR INTERVAL.
- 11) POSTED ADDRESS: 775 SAWATCH ROAD.

NDG
ARCHITECTURE
970.471.0698 | BNUTKINS@NDG-INC.COM

Seal

Western Slope Laundry Addition

775 Sawatch Road, Eagle, Colorado 81631

Job#:
2019-014

Issued

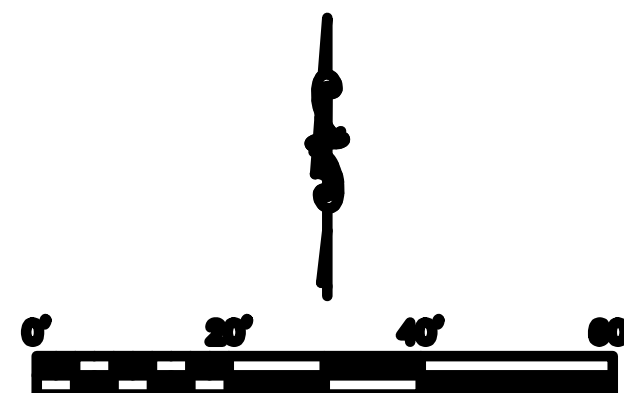
Issued:
Dev. Permit - 07/28/2020

Dwg. Name:
Proposed Site
Plan

[illegible]

Sheet

A101



 AREAS OF DISTURBANCE TO BE RE-SEEDING WITH NATIVE GRASSES AND WILDFLOWERS - TEMP. IRRIGATION

 NEW SOODED AREA WITH PERMANENT IRRIGATION FOR FULL COVERAGE OF AREA

New landscaping to receive temporary drip irrigation except in areas of maintained garden beds. Maintained garden beds to receive permanent irrigation. New sod areas to have design-build permanent irrigation. MAXIMUM 5000 SQ FT OF IRRIGATION.

A diagram showing a circular seal. A vertical line passes through the center of the seal, extending from the top edge to the bottom edge. The word "Seal" is written in bold text above the top edge of the seal.

775 Sawatch Road, Eagle, Colorado 81631

Dwg. Name:
Proposed
Landscape
Plan

Sheet

L101

775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO
AUGUST 2020

GENERAL NOTES

1. THE CONTRACTOR SHALL CONFORM TO ALL TOWN OF EAGLE DEVELOPMENT CODE, REGULATIONS, AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE.
2. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF EAGLE, ARCHITECT, AND MARCIN ENGINEERING AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PLANS FOR CONSTRUCTION WILL BE DISTRIBUTED AT THIS MEETING. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. THE CONTRACTOR IS WARNED THAT CONFLICTS WITH EXISTING UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AND CONTRACTOR SHALL LOCATE ALL UTILITIES (INCLUDING DEPTH). NEITHER MARCIN ENGINEERING NOR THE OWNER ASSUME ANY RESPONSIBILITY FOR UTILITY LOCATIONS. ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER SO THAT THE LINE LINE OR GRADE CHANGES CAN BE MADE TO ELIMINATE ANY CONFLICTS WITH THESE EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR THAT WERE PROPERLY MARKED/LOCATED SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
4. CONTRACTOR SHALL OBTAIN, AT ITS OWN EXPENSE, ALL PERMITS AND INSPECTIONS, WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, UNLESS OTHERWISE NOTED.
5. THE CONSTRUCTION OF ALL ROADS, SIDEWALKS, CURBS, EARTHWORK AND OTHER INFRASTRUCTURE DEVELOPMENT NOT SPECIFICALLY SPECIFIED BY SEPARATE UTILITY COMPANIES, SHALL BE CONSTRUCTED TO THE TOWN OF EAGLE MUNICIPAL CODE AND/OR COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, CDOT TRAFFIC STANDARD PROJECT PLANS, 2006 EDITION AND LATEST REVISIONS AND ANY SUPPLEMENTAL SPECIFICATIONS PROVIDED WITH THE CONTRACT. WHEN STANDARDS CONFLICT, THE STANDARD JUDGED MOST RESTRICTIVE BY THE ENGINEER SHALL PREVAIL. THE CONTRACTOR SHALL OBTAIN COPIES OF THESE SPECIFICATIONS AND PLANS. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND ONE COPY OF THE SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
6. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES, ANY MISSING DIMENSIONS OR DISCREPANCIES IN THE PLANS, FIELD STAKING OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING MARCIN ENGINEERING AND THE OWNER, HE DOES SO AT HIS OWN RISK.
7. OBSERVATIONS OF THE WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY MARCIN ENGINEERING OF THE CONTRACTOR'S CONTRACTUAL RESPONSIBILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF STOCKPILING OF MATERIALS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, AND THE MATERIAL SUPPLIER.
9. CONSTRUCTION STAKING IS BY CONTRACTOR.
10. BENCHMARKS: CONTACT MARCIN ENGINEERING.
11. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER MARCIN ENGINEERING OR THE OWNER IS RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING THERETO.
12. ALL UTILITY TRENCHES IN ROADWAY TO BE COMPACTED AND TESTED PER GEOTECHNICAL ENGINEER REQUIREMENTS.
13. SOILS AND MATERIAL TESTING IS BY THE OWNER, BUT THE CONTRACTOR MUST NOTIFY THE OWNER AND GEOTECHNICAL ENGINEER OF SCHEDULING.
14. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY HIS ACTIVITIES INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
15. THE CONTRACTOR SHALL KEEP ONE (1) SET OF CONTRACT DRAWINGS MARKED TO FULLY INDICATE "AS-BUILT" CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND MARCIN ENGINEERING UPON COMPLETION OF THIS WORK. THREE (3) "AS-BUILT" TIES TO ALL SERVICES, FITTINGS, VALVES AND MANHOLES TO PHYSICAL MONUMENTS ARE TO BE PROVIDED BY THE CONTRACTOR.
16. IF ANY GROUND WATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT MARCIN ENGINEERING AND THE PROJECT GEOTECHNICAL ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS, CULVERTS AND APPURTENANCES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ROADS AND PROPERTY.
18. ROAD SUBGRADE SHALL BE PROOF ROLLED AND FREE OF DEFLECTION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY FAILING AREAS SHALL BE REPAIRED AND PROOF ROLLED AGAIN UNTIL ACCEPTED BY THE GEOTECHNICAL ENGINEER WITH NO ADDITIONAL COST TO OWNER.
19. ALL LANDSCAPING SHALL BE PER THE LANDSCAPE ARCHITECT PLANS AND/OR OWNER.
20. TOPSOIL SHALL BE STRIPPED AND STOCKPILED.
21. OVERSIZE BOULDERS (ROCK EXCAVATION-AS DEFINED IN CDOT SPECIFICATION 203.02.D) ENCOUNTERED DURING THE WORK SHALL BE REMOVED AND STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER.
22. CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANING OF ALL ACCESS ROADS AND OTHER PUBLIC STREETS NECESSITATED BY HIS ACTIVITIES ON THE SITE.
23. DUST CONTROL IS INCIDENTAL TO EARTHWORK CONSTRUCTION AND SHALL BE PROVIDED BY CONTRACTOR, AT NO COST TO OWNER, IN ACCORDANCE WITH THE TOWN OF EAGLE MUNICIPALITY STANDARDS AND SPECIFICATIONS.
24. THE CONTRACTOR SHALL PROVIDE A STORMWATER MANAGEMENT PLAN (SWMP) PER THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION.
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES. CONTRACTOR IS RESPONSIBLE TO REMOVE EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ONCE VEGETATION IS ESTABLISHED. APPROXIMATELY 70% RE-ESTABLISHED DEEMED BY THE OWNER.

VICINITY MAP

APPROXIMATE SCALE: 1"=400'

EAGLE, COLORADO



CONSULTANT CONTACTS

- A. Marcin Engineering LLC; Tom Marcin PE, PLS (Civil Engineer, Construction Admin), (970) 748-0271
B. NDC Architecture; Bill Nutkins, AIA (Architect), (970) 471-0698
C. Town of Eagle (Water & Sewer System)
D. Holy Cross Energy (Electric), Keith Hernandez (970) 947-5439
E. Black Hills Energy (Gas), (888) 890-5554
F. Utility Notification Center of Colorado, (UNCC) 811

TABLE OF CONTENTS

C1	COVER SHEET & NOTES
C2	EXISTING CONDITIONS & REMOVALS PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	EROSION CONTROL PLAN
C6	DETAILS SHEET

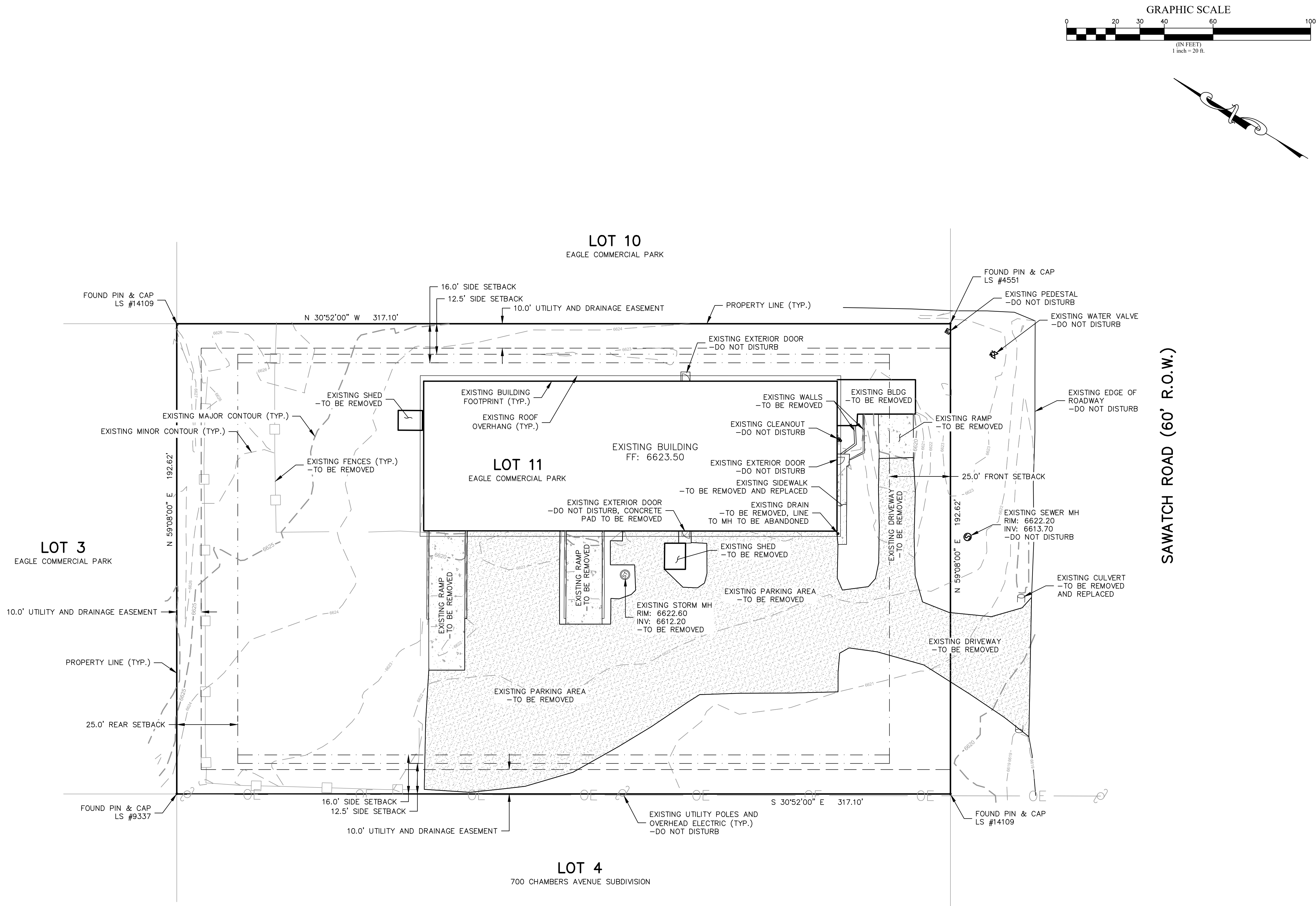
MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

COVER SHEET & NOTES
775 SAWATCH ROAD
TOWN OF EAGLE COLORADO

JOB: 20063
DATE: 08/28/2020
SCALE: N/A

SHEET
C-1

DRAWING: C:\projects\Marsh Engineering\Projects\2020\20063-775 Sawatch Valley\2020\20063-775 Existing.dwg



SAWATCH ROAD (60' R.O.W.)

NOTES:
1: ALL LINEWORK AND DATA HEREIN
GATHERED FROM TOPOGRAPHIC SURVEY BY
EAGLE VALLEY SURVEYING, INC., DATED MAY
2020.
2: SEE ARCHITECTURAL PLANS FOR TREE
REMOVAL DETAILS.

NOT FOR CONSTRUCTION

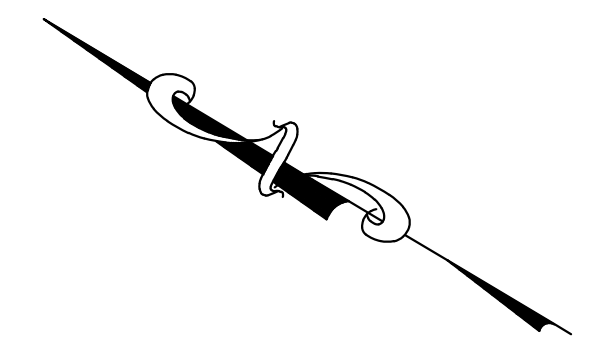
MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

EXISTING CONDITIONS & REMOVALS PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO. DATE REVISIONS BY

JOB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-2



SITE PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

5	255	155	55
---	-----	-----	----

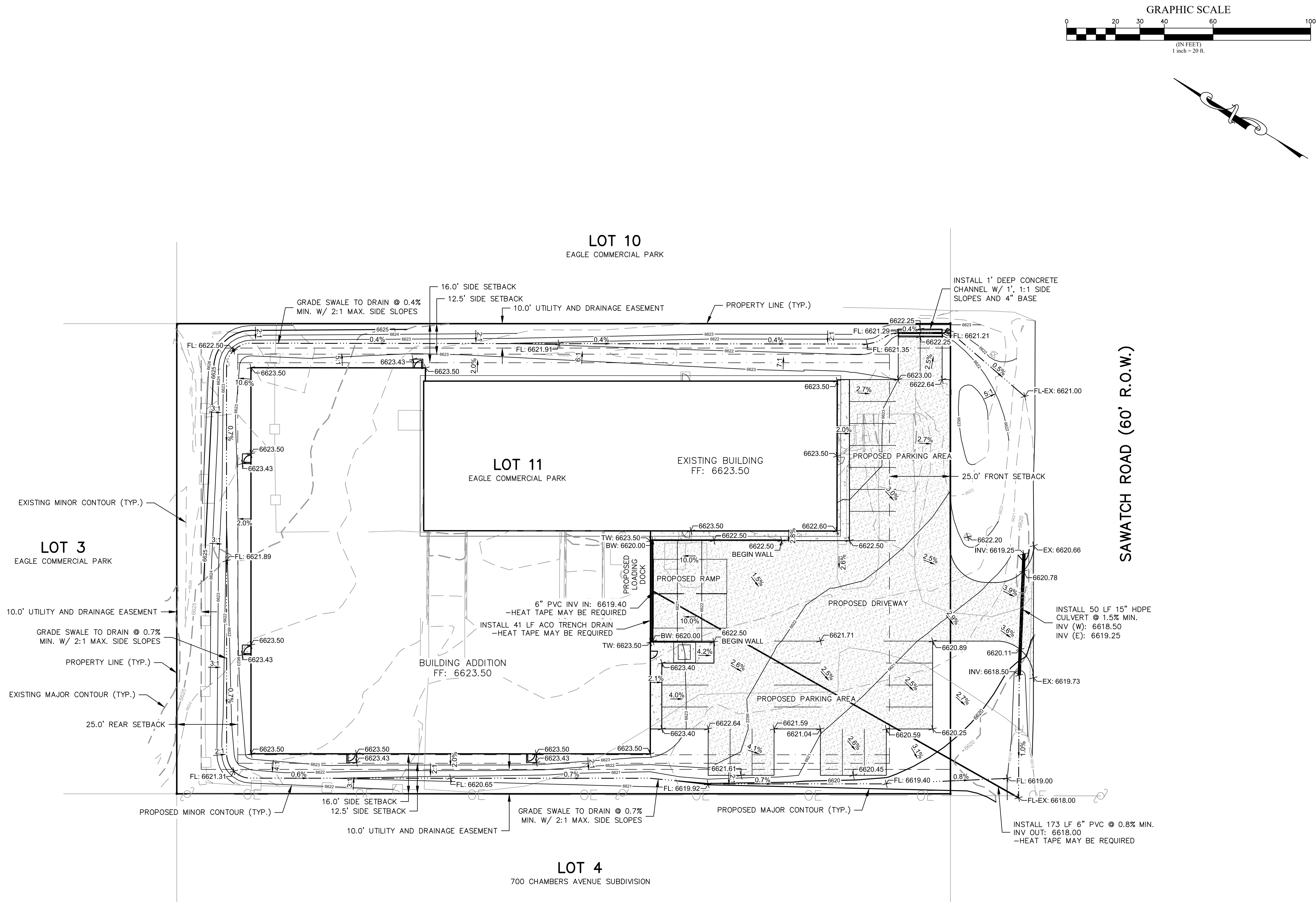
OB: 20063
ATE: 08/28/2020
CALE: 1" = 20'

SHEET
C-3

NOT FOR CONSTRUCTION



DRAWING: C:\temp\Marin_Engineering\Projects\2020\20063-775_Sawatch\Map\20063-Sub-Grading.dwg



NOT FOR CONSTRUCTION

MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

GRADING & DRAINAGE PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

JOB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-4

RE-VEGETATE ALL DISTURBED AREAS WITH SEED, MULCH, FERTILIZER, AND TACKIFIER EXCEPT THE ROAD PLATFORM. AREAS TREATED WITH EROSION CONTROL MATS WILL INCLUDE TOPSOIL, SEED MIX, FERTILIZER, AND MULCH. ALL OTHER DISTURBED AREAS WILL HAVE TOP SOIL, SEED MIX, FERTILIZER, MULCH, AND TACKIFIER.

INSTALL EROSION CONTROL BLANKET (LANDLOK C2 OR APPROVED EQUAL) ON ALL DISTURBED AREAS. REVEGETATE AREA WITH TOPSOIL, SEED, MULCH, AND FERTILIZER PRIOR TO BLANKET PLACEMENT.

INSTALL TURF REINFORCEMENT MAT (TRM, LANDLOK 450 OR APPROVED EQUAL) IN DITCHES.

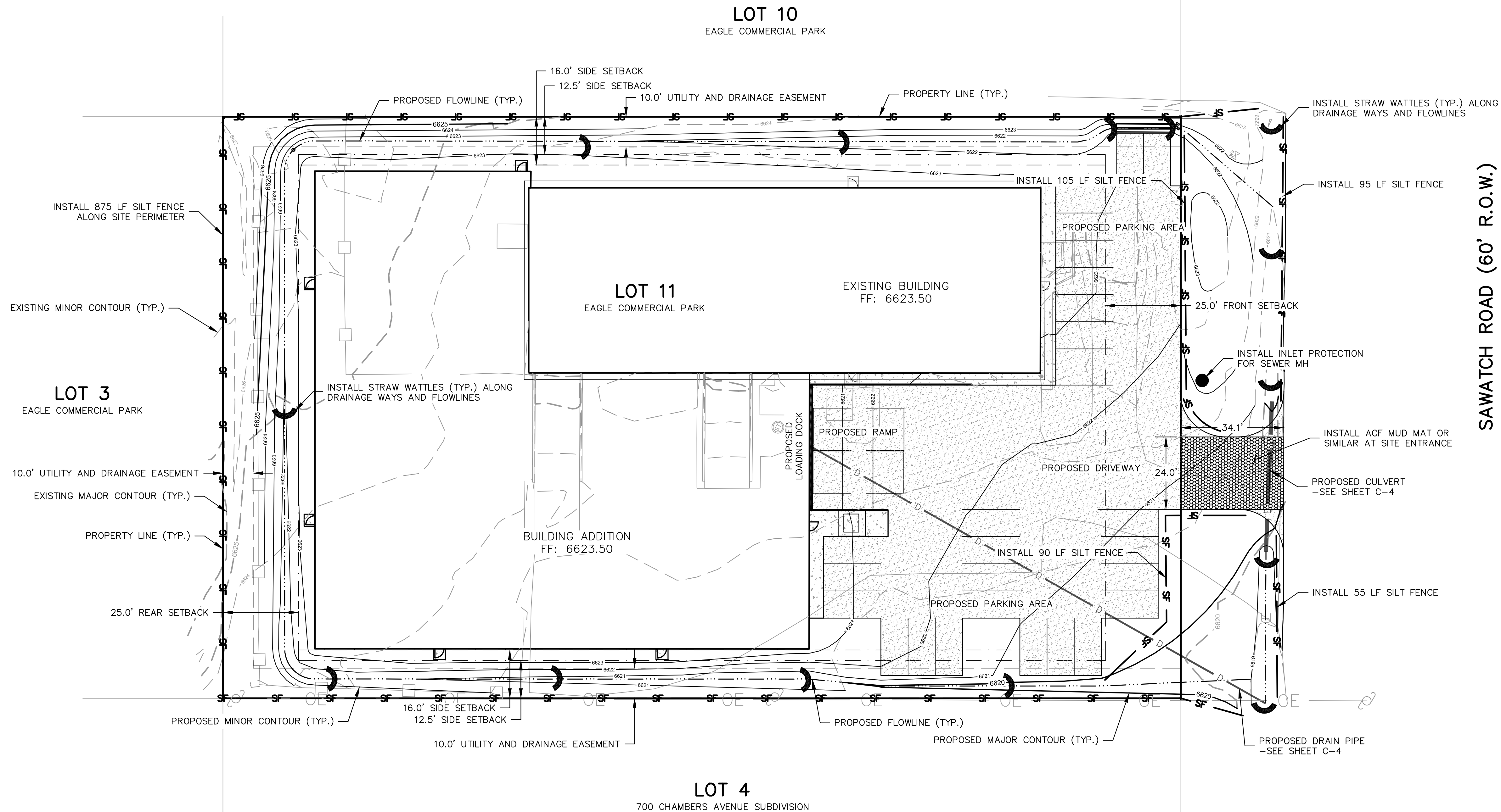
INSTALL WATTLES, CONSTRUCTION FENCE, CONSTRUCTION ENTRANCE MUD MAT, AND SEDIMENT TRAPS PRIOR TO ROAD CONSTRUCTION, EXCAVATION, AND EMBANKMENT.

INSTALL EROSION CONTROL MEASURES (LANDLOK TRM FABRIC, RIP RAP, AND EROSION LOGS) AFTER ROADWAY DITCHES HAVE BEEN CONSTRUCTED AND TOPSOIL PLACED.

THE TERM "REVEGETATION" ON THESE PLANS MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDING CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH THE LANDSCAPE PLANS.

THOSE PORTIONS OF THE ROAD SUBGRADE THAT DO NOT RECEIVE GRAVEL SHALL BE SEEDING, MULCHING, AND TACKED. THE SUBGRADE SURFACE SHALL BE RAKED. THE SEED SHALL BE DRILLED OR BROADCAST AND

8. RAKED INTO THE TOP 1/4" OF SOIL PRIOR TO SEEDING FERTILIZER SHALL BE WORKED INTO THE TOP 4" OF SOIL AT THE RATE SPECIFIED.
9. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND/OR BEST MANAGEMENT PRACTICES.
10. ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED ON PLANS.
11. SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
12. PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO ENSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
13. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE GRADING OPERATIONS PERIOD.
14. STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS.
15. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE CONSTRUCTION SITE.
16. ALL SEDIMENT CONTROL AND STORM DRAINAGE FACILITIES SHALL BE INSPECTED AND MAINTAINED TO ASSURE THAT THEY PROPERLY FUNCTION.
17. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
18. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.
19. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
20. CONTRACTOR TO PROVIDE EROSION CONTROL BLANKETS AND/OR OTHER TREATMENTS ADEQUATE TO CONTROL EROSION ON ALL AREAS OF GREATER THAN 2:1 SLOPE.
21. CONTRACTOR TO PROVIDE A NATIVE GRASSLAND SEED MIX WHICH SHALL BE USED TO RE-VEGETATE ALL DISTURBED AREAS OF THE SITE ACCORDING TO THE METHOD IN NOTE #1 OF THIS SECTION. CONTRACTOR TO ALSO RESTORE IRRIGATION SYSTEM TO ITS ORIGINAL CONDITION.



JOB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

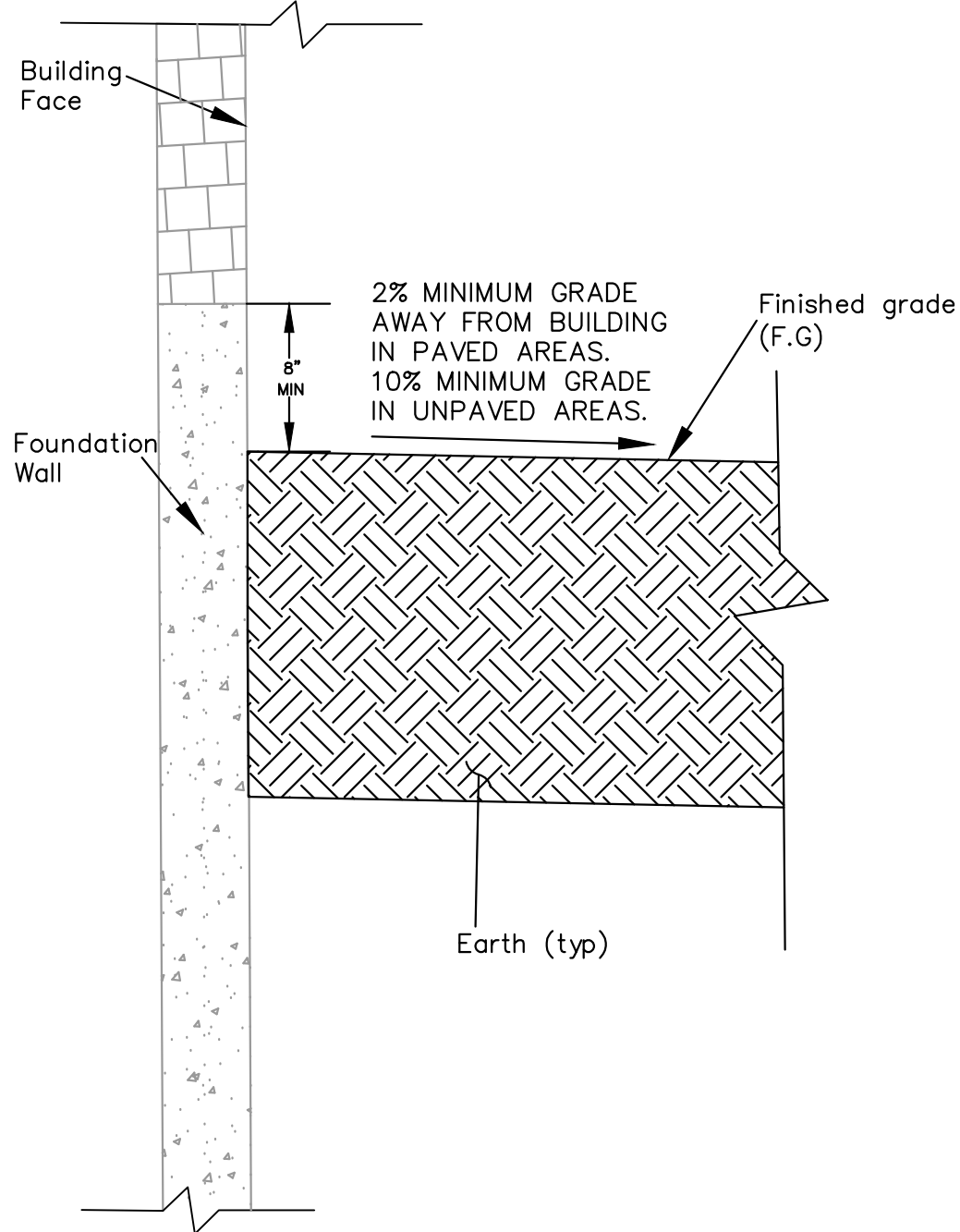
SHEET
C-5

MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

EROSION CONTROL PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

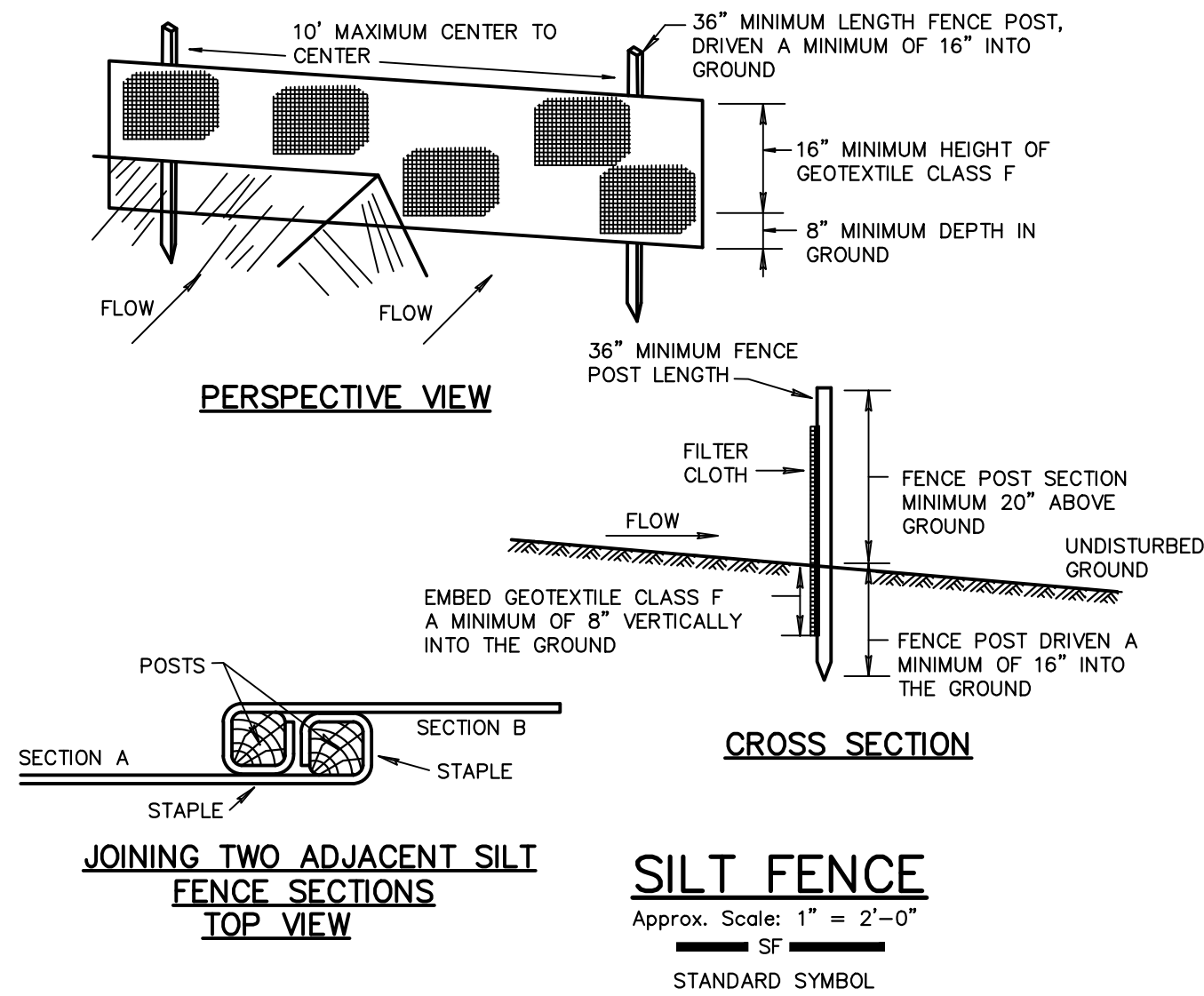
DRAWING: C:\projects\March_2020\20063-2778_Excelsior\0002-Detailing



TYPICAL SECTION, UNLESS OTHERWISE NOTED

NT.S.

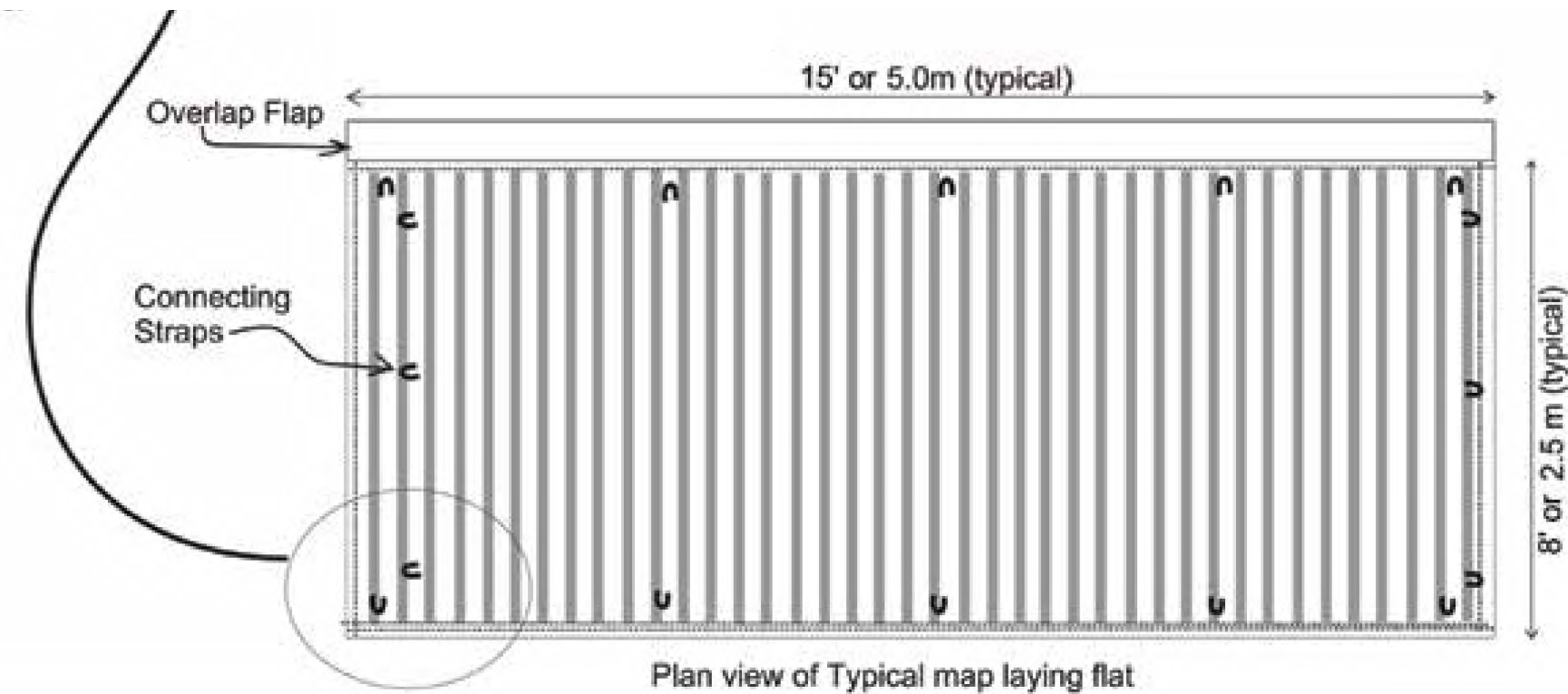
A GRADING NEAR FOUNDATION WALLS



- JOINING TWO ADJACENT SILT FENCE SECTIONS TOP VIEW**
- SILT FENCE**
Approx. Scale: 1" = 2'-0"
- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|------------------------------|----------------|
| Tensile Strength | 50 lbs/in. (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in. (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal. ft. / minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

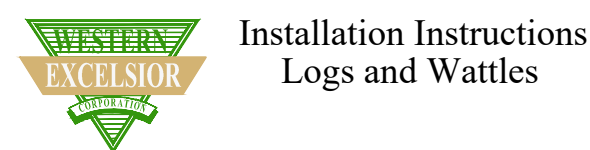
NT.S.

B SILT FENCE



NT.S.

C MUD MAT



Installation Instructions
Logs and Wattles

Step 1 - Site Preparation

Prepare site to design profile and grade. Remove debris, rocks, clods, etc.. Ground surface should be smooth prior to installation to ensure log remains in contact with slope.

Step 2 - Staple Selection

At a minimum, 1" long by 1/4", stakes are to be used to secure the log to the ground surface. Installation in rocky, sandy or other loose soil may require longer stakes.

Slope Installation

Place RECP along slope to provide upstream apron for log. Secure RECP according to standard slope installation instructions including upstream anchor trench. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A presents a schematic of a slope installation in profile view.

Channel Installation

Place RECP along channel to provide upstream and downstream apron for log identically to slope installation. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A/ Figure C presents a schematic of a channel installation.

Drain Filter Installation

Surround drain inlet to be protected with log, ensuring seams are overlapping to minimize flow circumventing log. Secure logs to ground surface ensuring the log remains in intimate contact with the ground surface over the entire installation. Provide RECP apron secured to the ground surface between drain and log.

Document # WE_EXCEL_LOG_IL. Please contact Western Excelsior technical support Division at 800-967-4009 with specific questions or for further information.

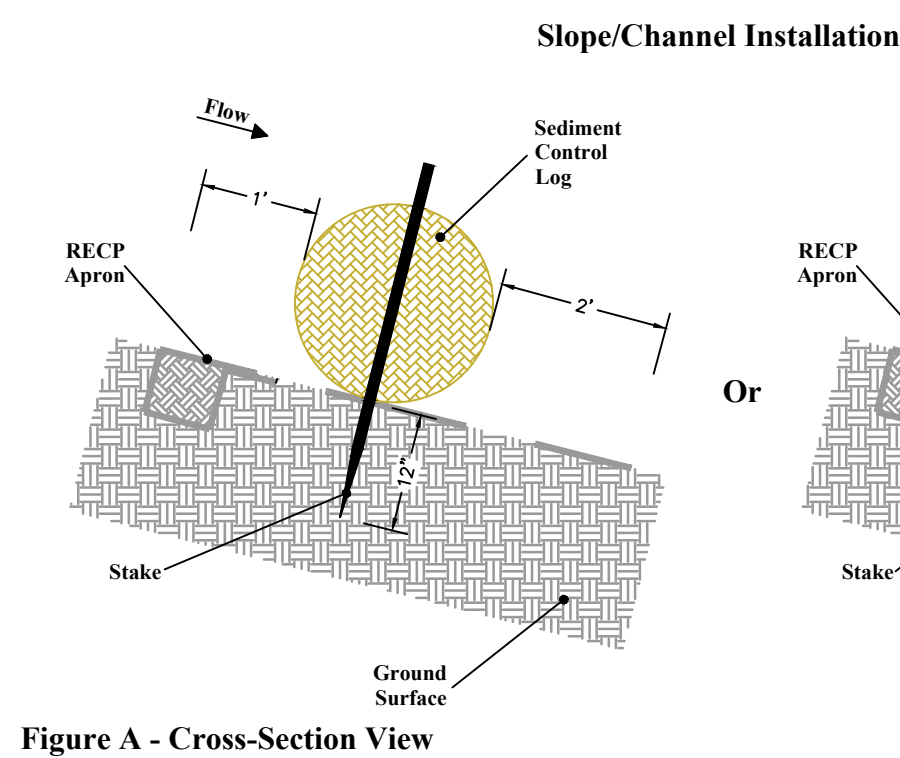


Figure A - Cross-Section View

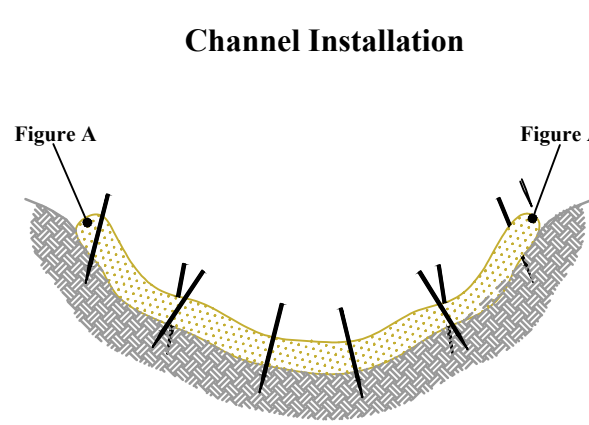


Figure C - Cross-Section View

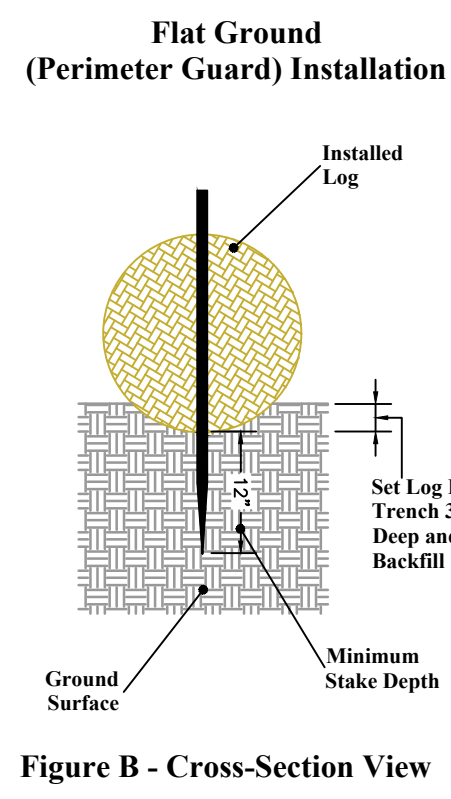
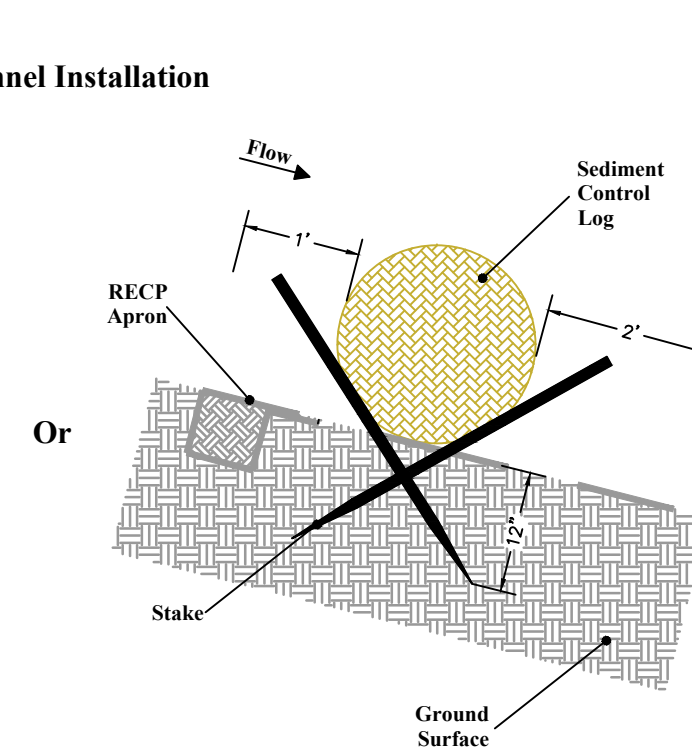


Figure D - Plan View

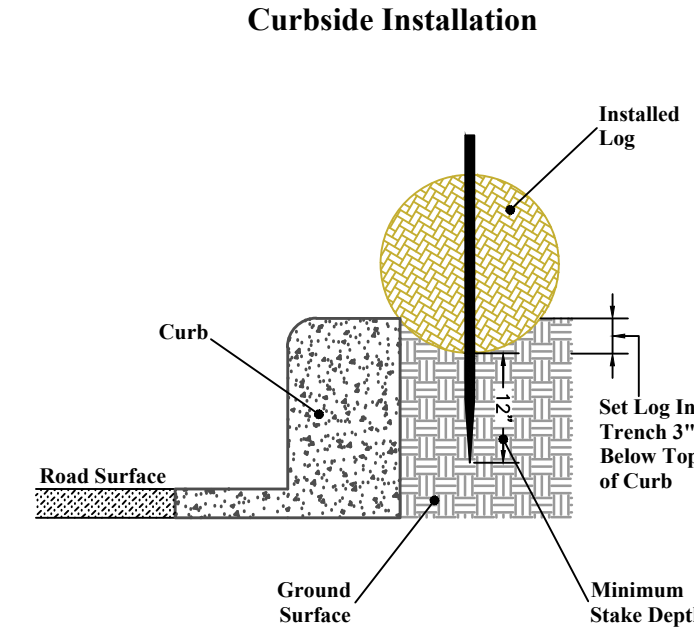


Figure E - Cross-Section View

NT.S.

D STRAW WATTLE

NT.S.

E ASPHALT DRIVEWAY SECTION

MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

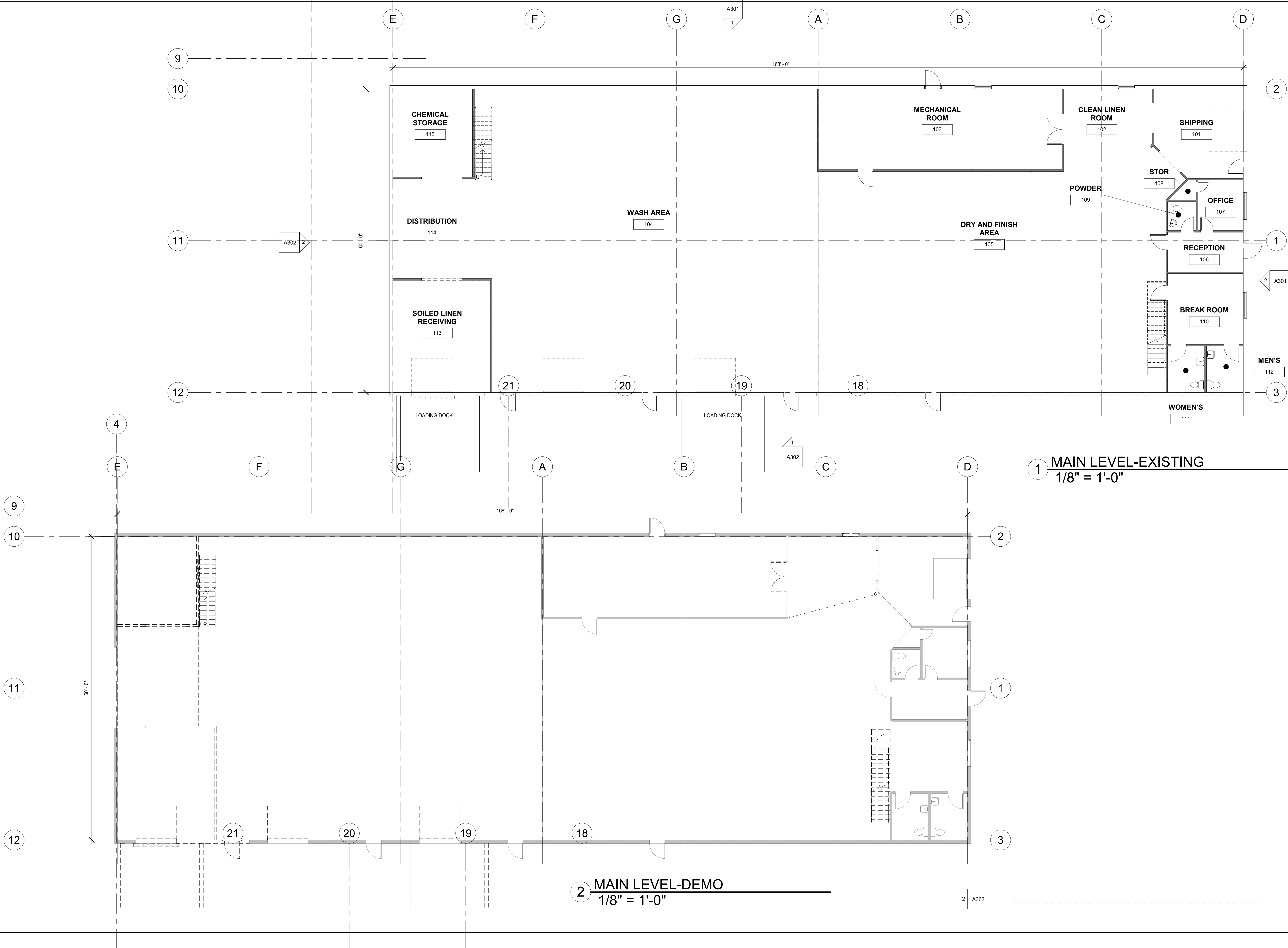
DETAILS SHEET
BROADWAY STATION
EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

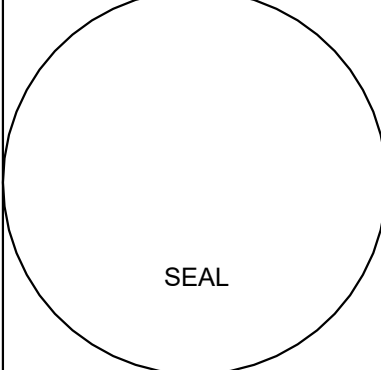
JOB: 20063
DATE: 08/28/2020
SCALE: N/A

SHEET
C-6

9/11/2020 11:37:14 AM C:\Users\bnuk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt



NDG
ARCHITECTURE
8700 E. 11TH AVE. SUITE 100
DENVER, CO 80231
PO BOX 634 EDWARDS, COLORADO 81632



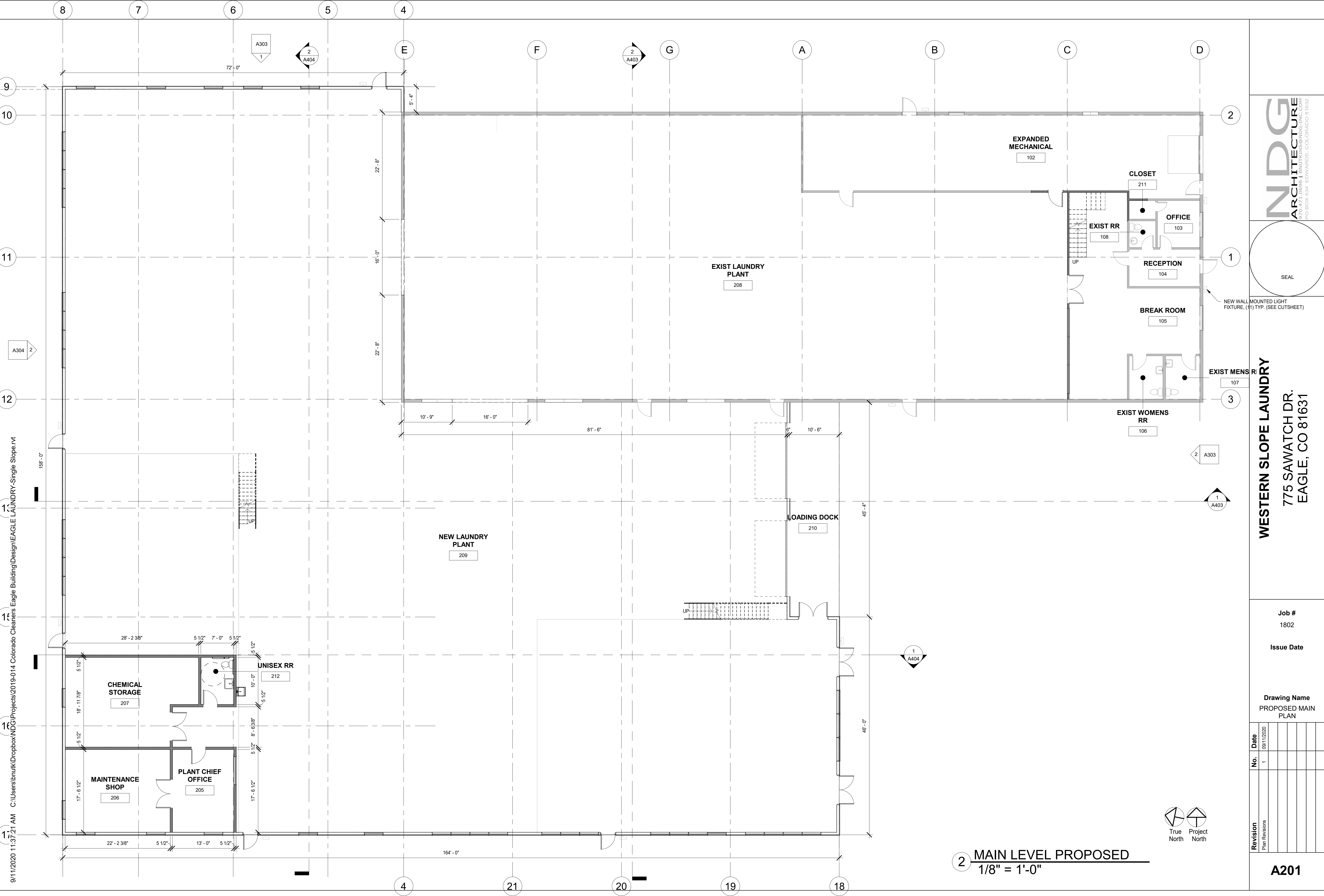
WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802
Issue Date

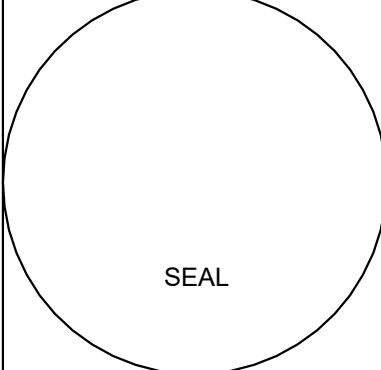
Drawing Name
EXISTING MAIN
LEVEL

Revision	No.	Date							

A200



NDG
ARCHITECTURE
8700 E. 10th Ave., Suite 100
PO Box 634, Edwards, Colorado 81632



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

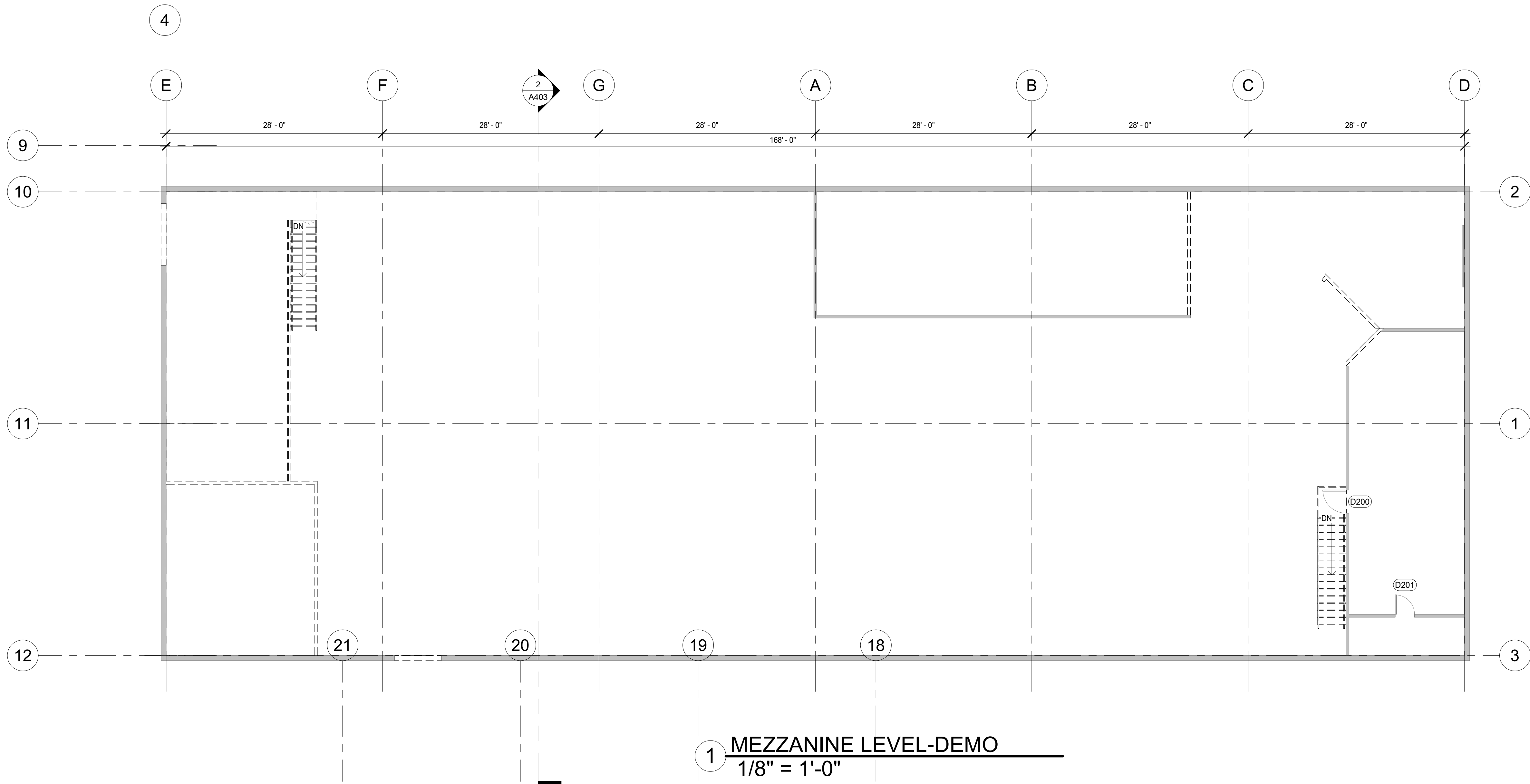
Issue Date

Drawing Name
PROPOSED MAIN PLAN

Revision	No.	Date
Plan Revisions	1	09/11/2020

A201

9/11/2020 11:37:21 AM C:\Users\bnuk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt



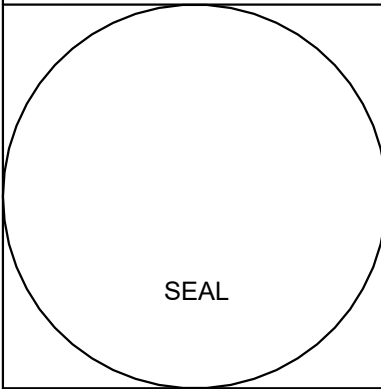
WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802
Issue Date

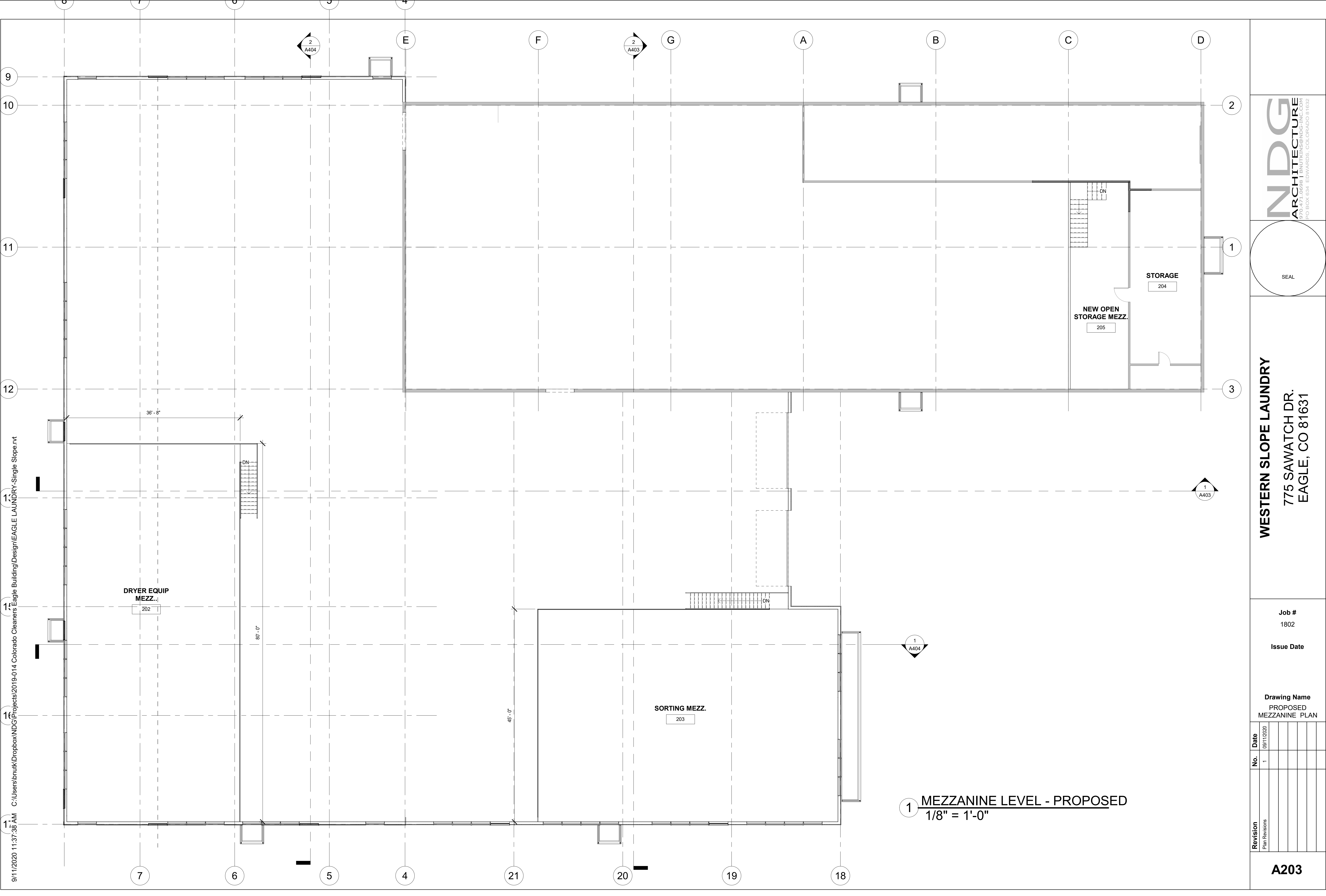
Drawing Name
EXISTING
MEZZANINE PLAN

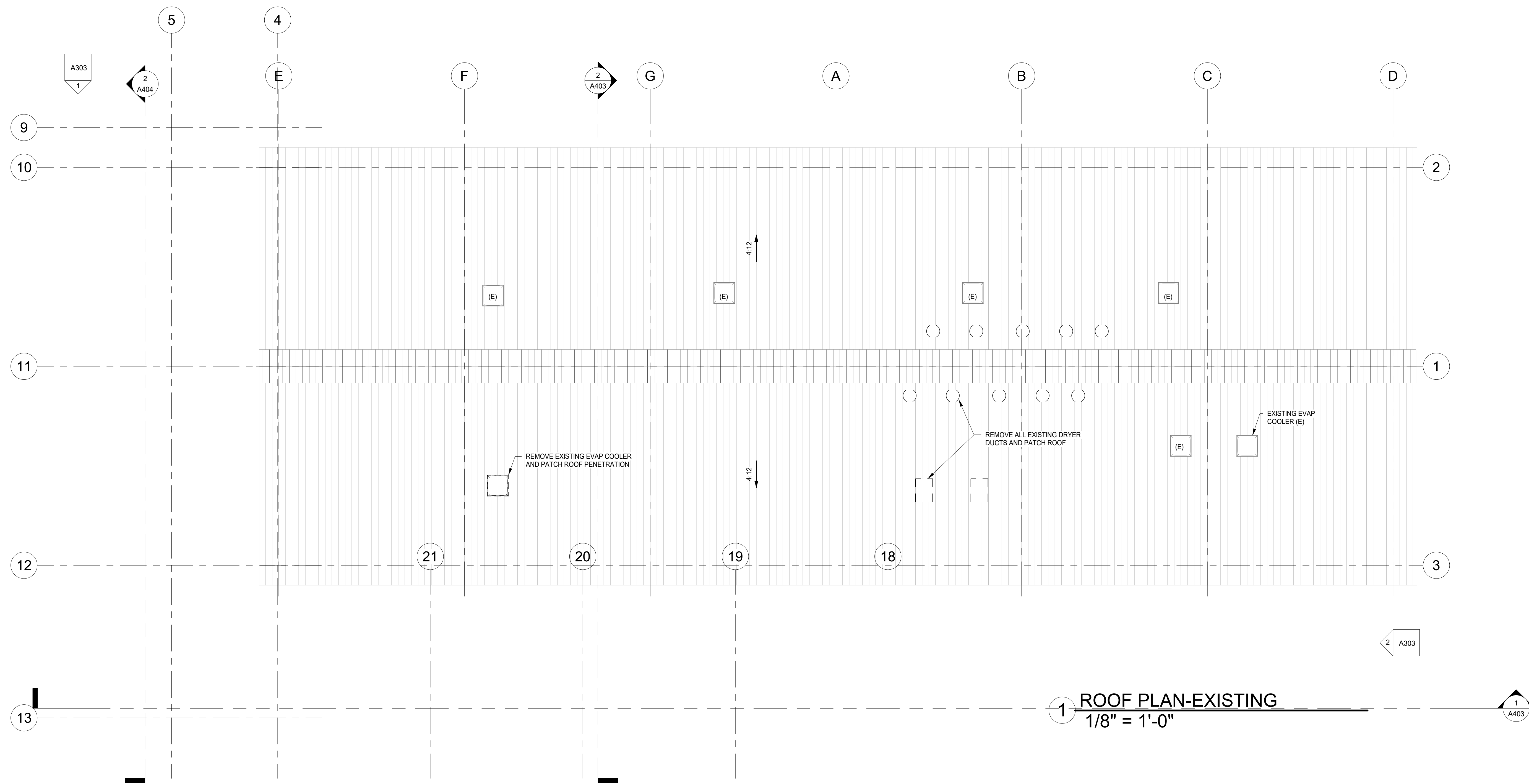
Revision	No.	Date
Plan Revisions	1	09/11/2020

A202

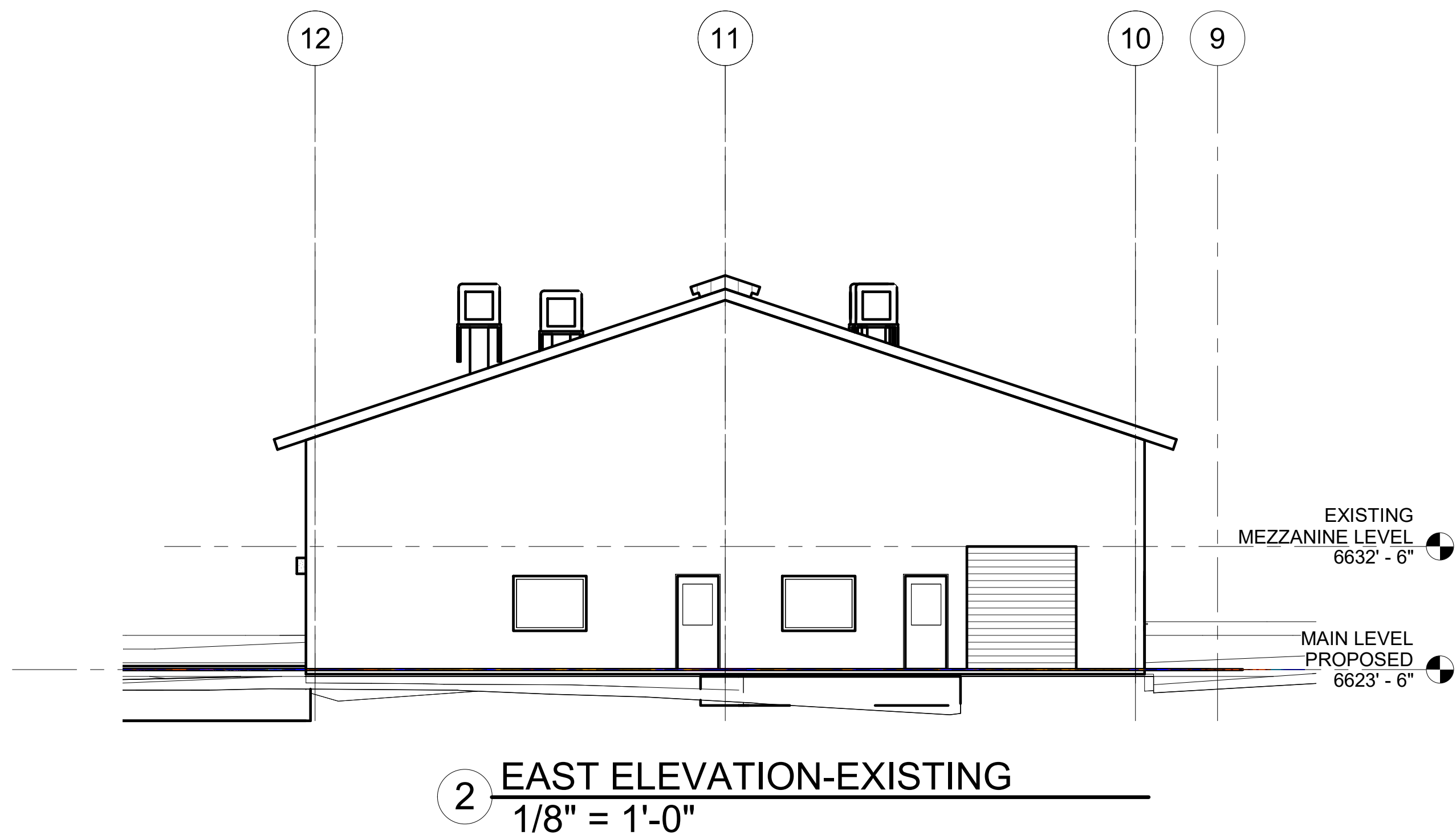
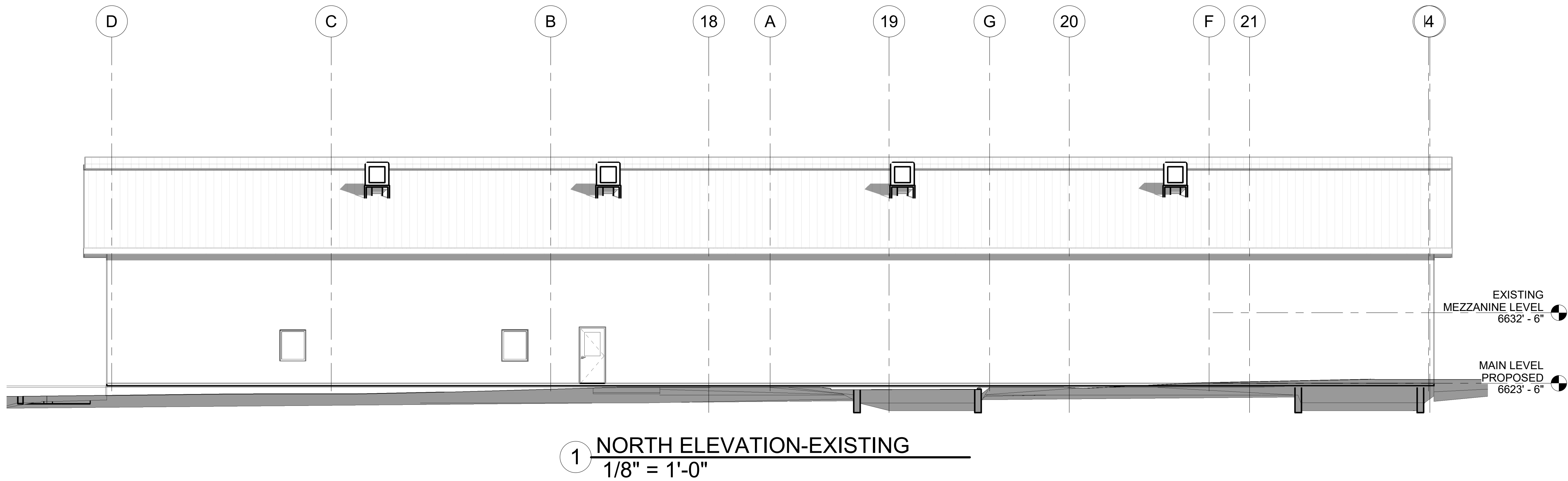


NDG
ARCHITECTURE
8700 W. 146th, Suite 100, Greenwood Village, CO 80120
PO BOX 634, EDWARDS, COLORADO 81632



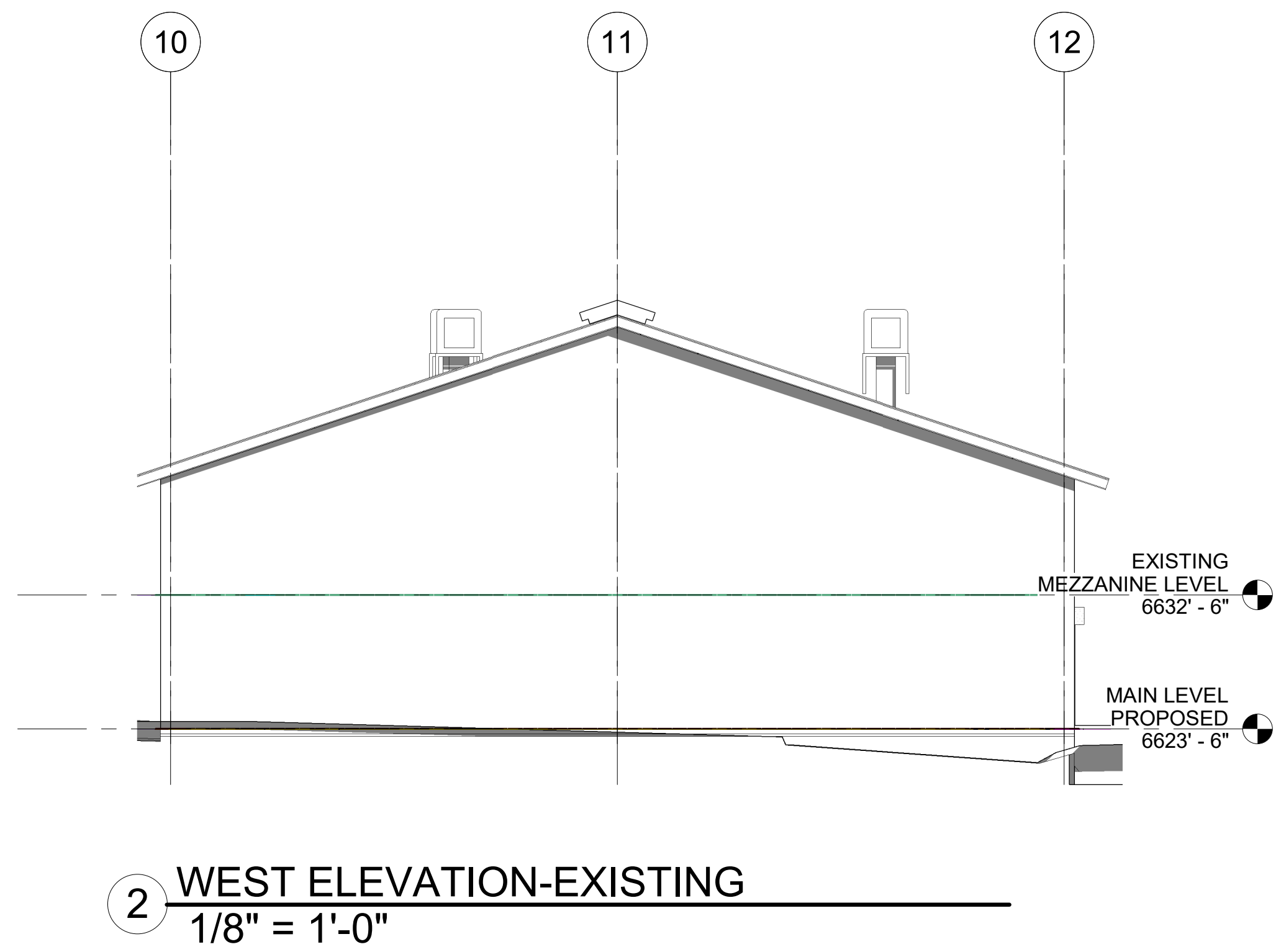
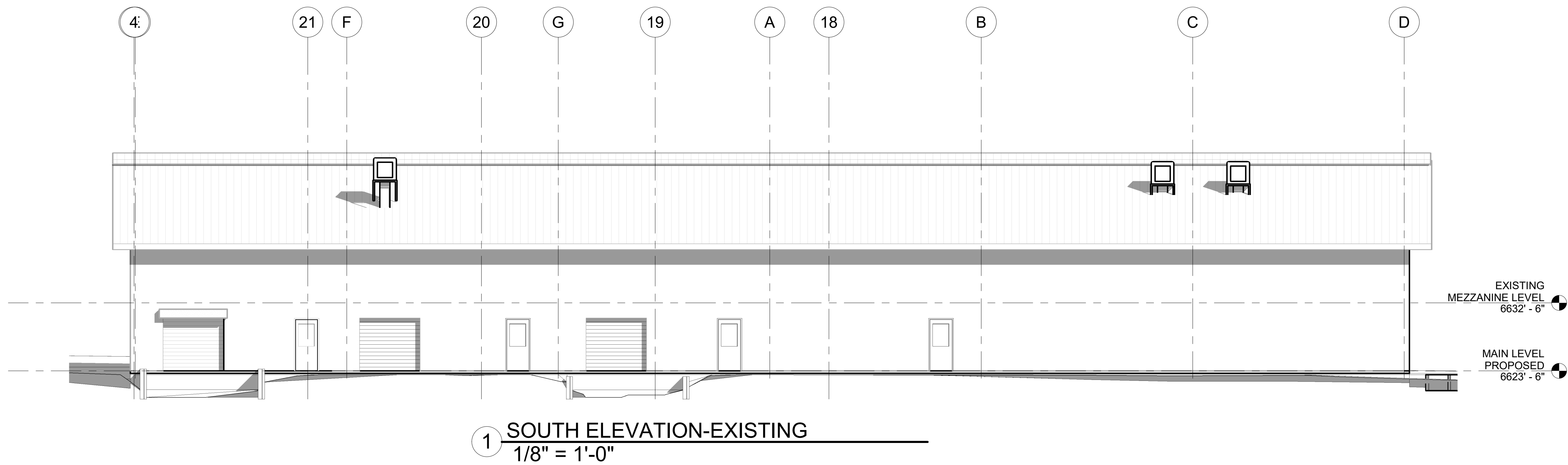






Revision	No.	Date

9/11/2020 11:38:27 AM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt



NDG
ARCHITECTURE
8700 E. 10th Ave. Suite 100
Denver, CO 80231
PO BOX 634 EDWARDS, COLORADO 81632

SEAL

WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

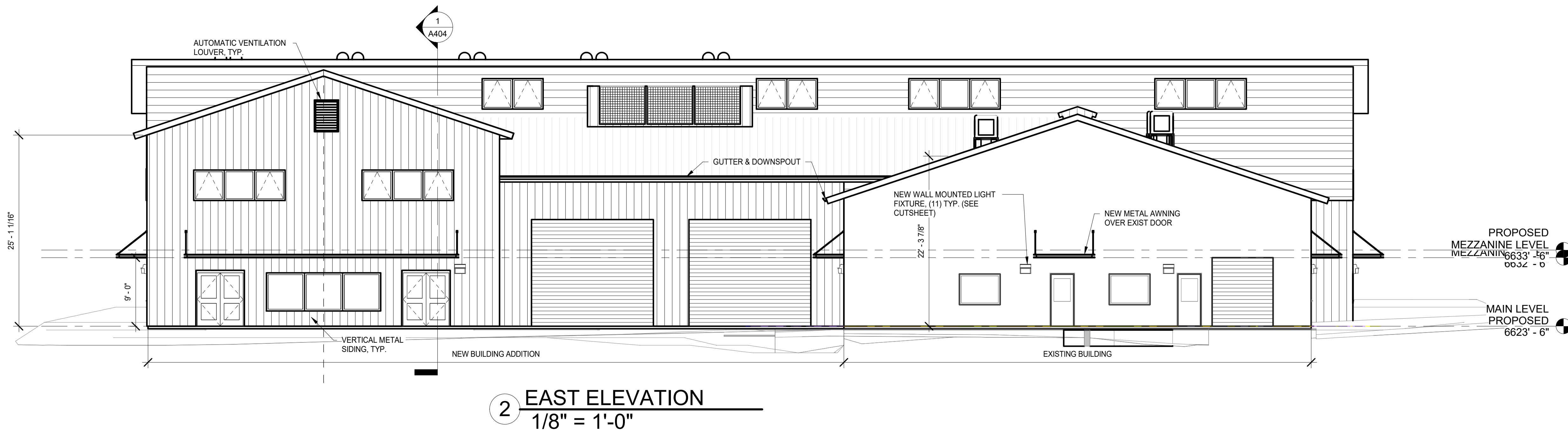
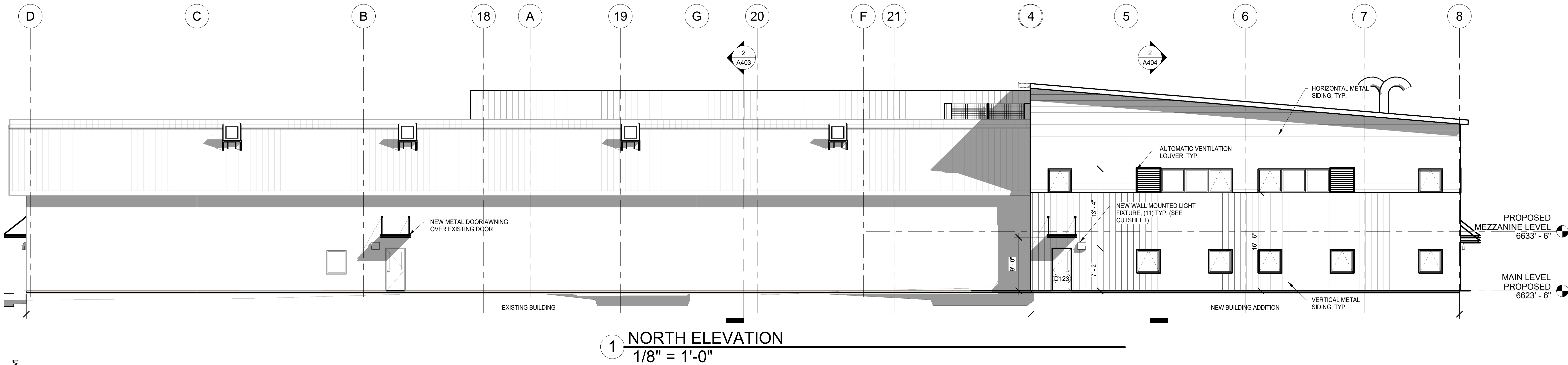
Issue Date

Drawing Name
EXISTING
ELEVATIONS

Revision	Date	
	No.	

A302

9/11/2020 11:38:45 AM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt



NDG
ARCHITECTURE
8700 E. 10th Ave., Suite 100
PO Box 634, Edwards, Colorado 81632

SEAL

WESTERN SLOPE LAUNDRY

775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

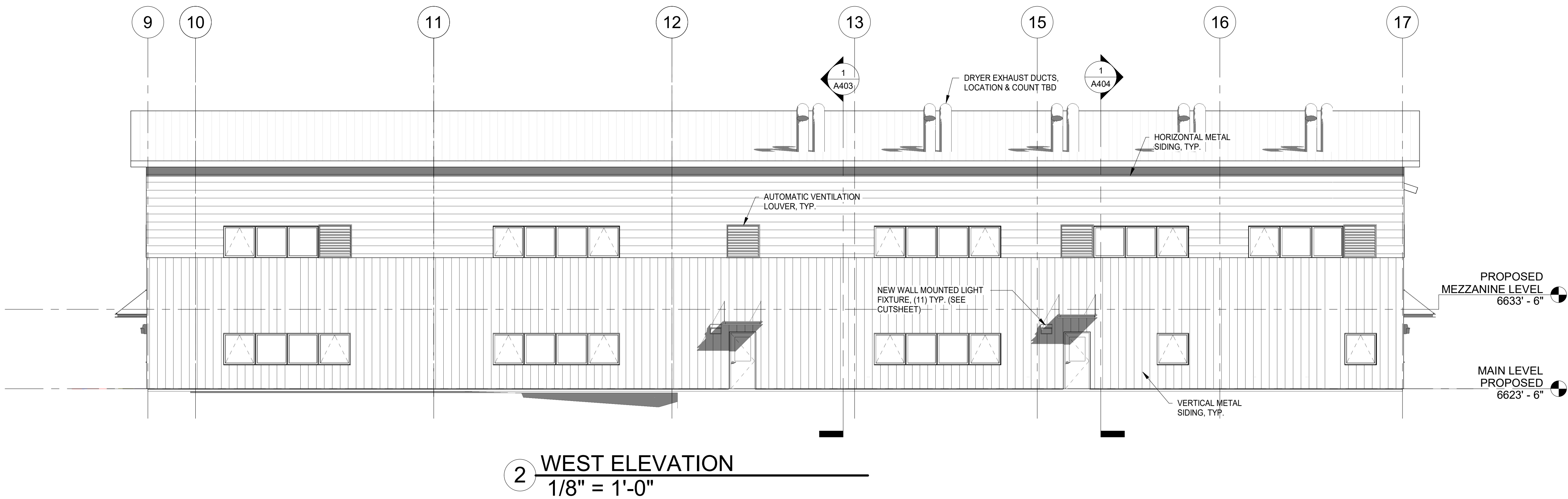
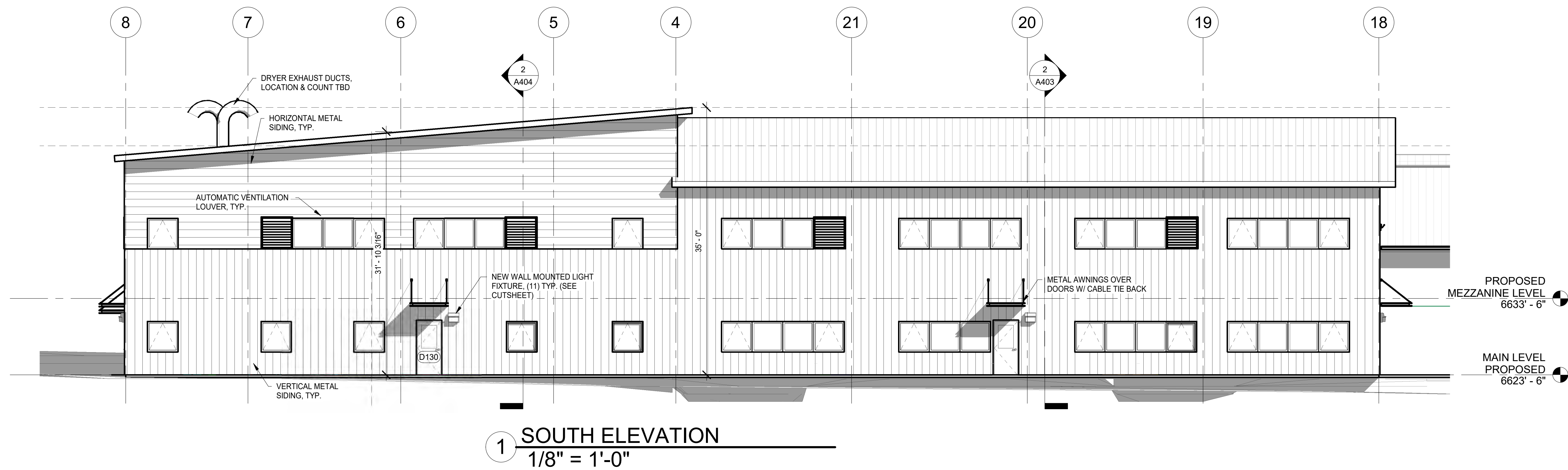
Issue Date

Drawing Name
PROPOSED
ELEVATIONS

Revision	No.	Date
Plan Revisions	1	09/11/2020

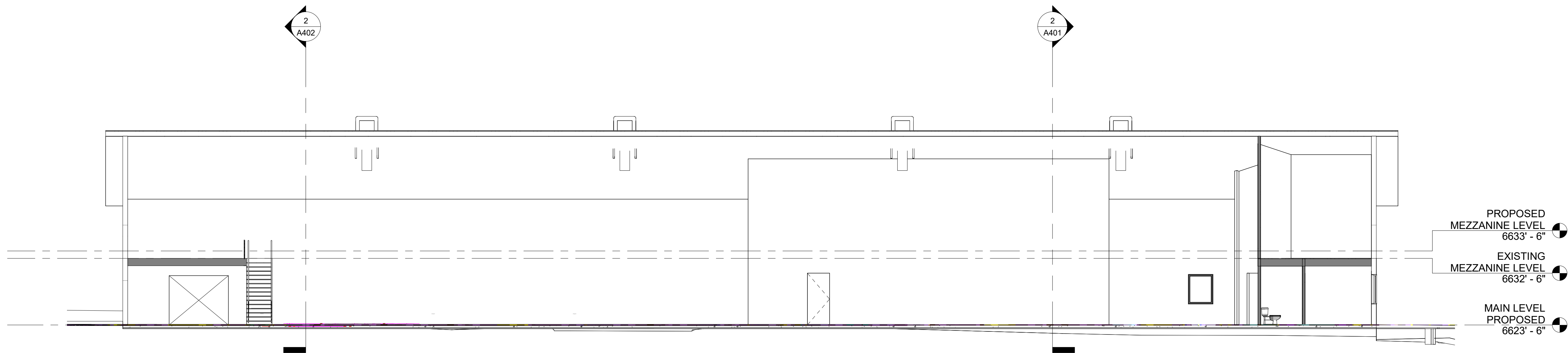
A303

9/11/2020 11:39:13 AM C:\Users\bnuk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt

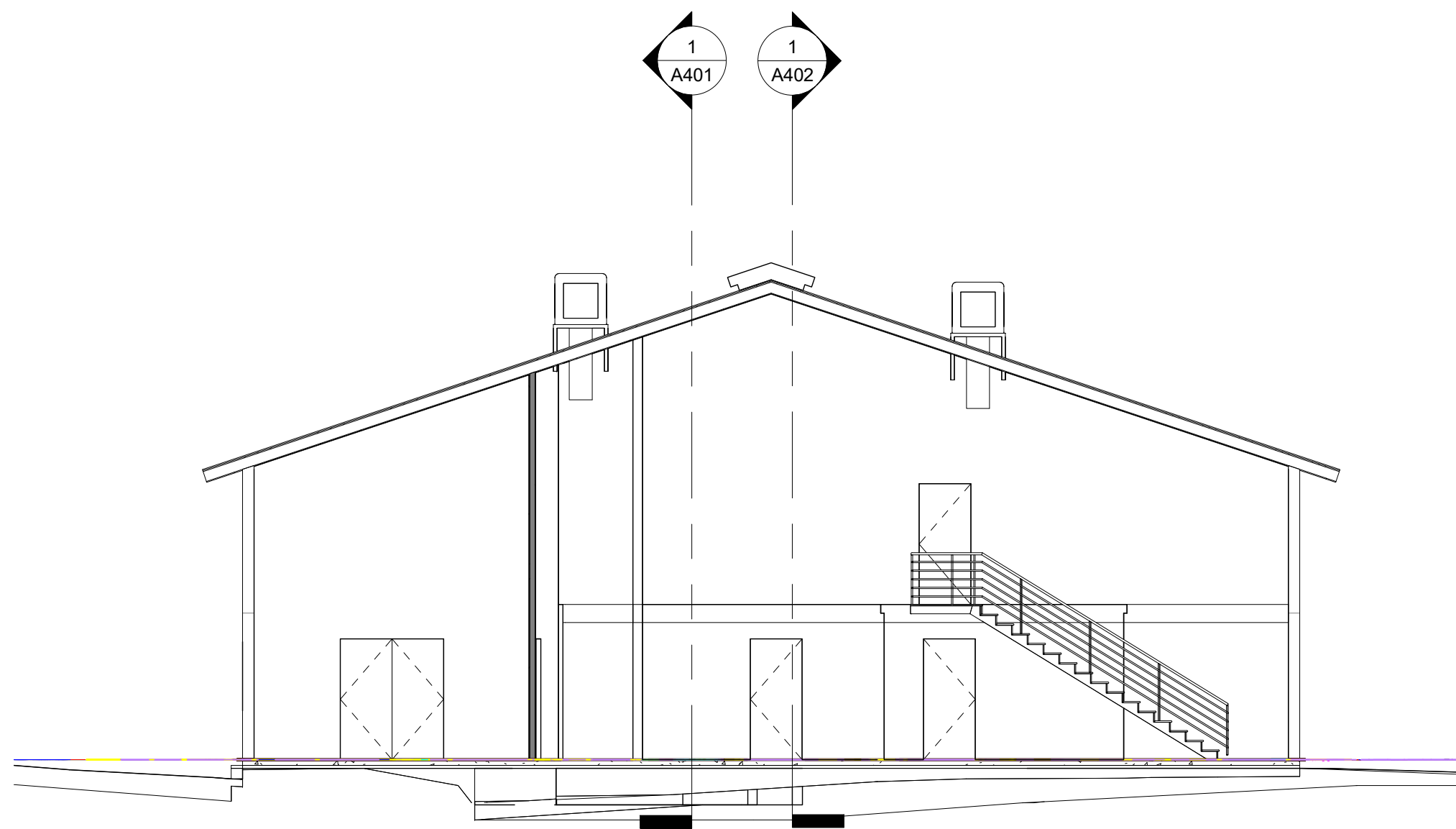


Revision	No.	Date
Plan Revisions	1	09/11/2020

9/11/2020 11:39:47 AM C:\Users\bnuk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt

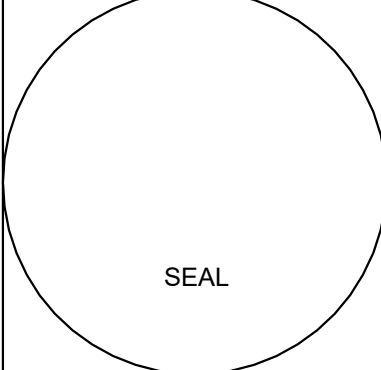


1 EXISTING NORTH SECTION
1/8" = 1'-0"



2 EXISTING EAST SECTION
1/8" = 1'-0"

NDG
ARCHITECTURE
8700 E. ILLINOIS AVE. SUITE 100
DENVER, CO 80231
PO BOX 634 EDWARDS, COLORADO 81632



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

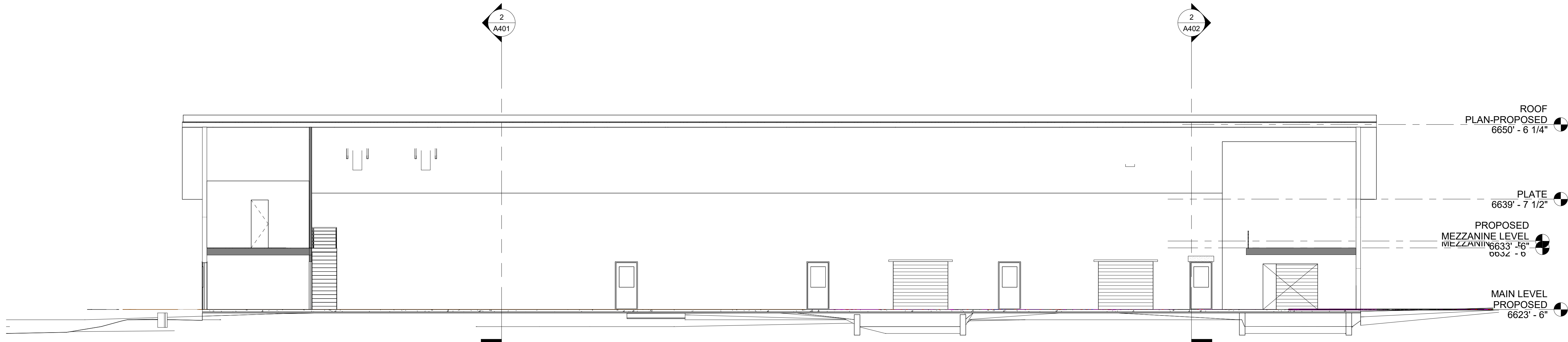
Job #
1802
Issue Date

Drawing Name
EXISTING BUILDING
SECTIONS

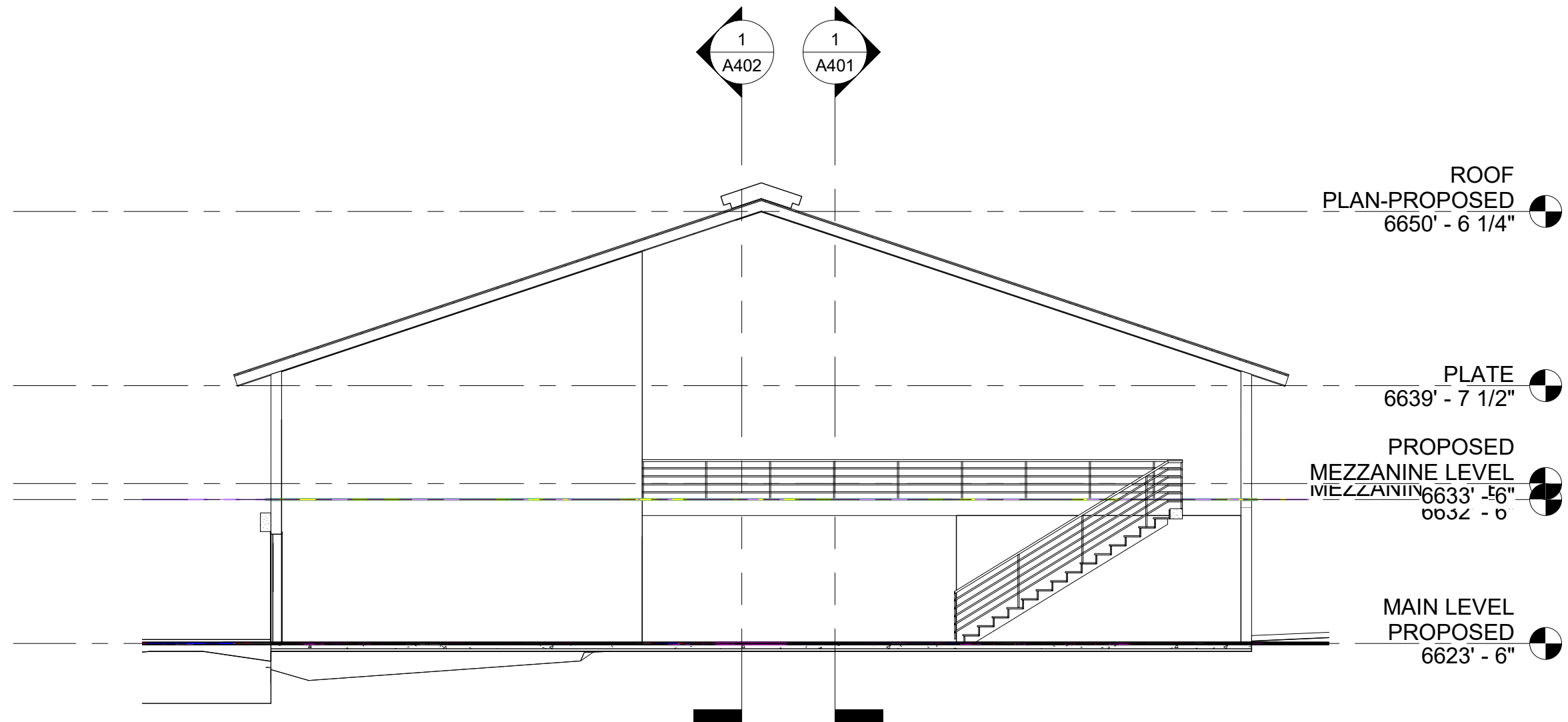
Revision	No.	Date
Plan Revisions	1	09/11/2020

A401

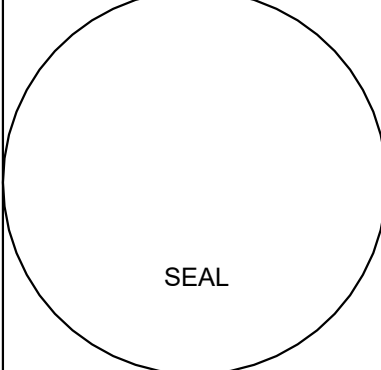
9/11/2020 11:40:24 AM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY- Single Slope.rvt



1 EXISTING SOUTH SECTION
1/8" = 1'-0"



2 EXISTING WEST SECTION
1/8" = 1'-0"



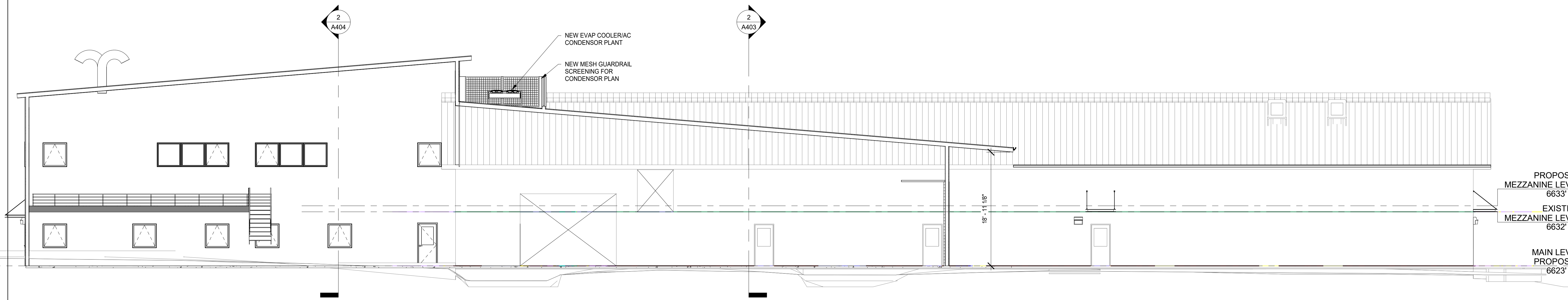
WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802
Issue Date
Drawing Name
EXISTING BUILDING SECTIONS

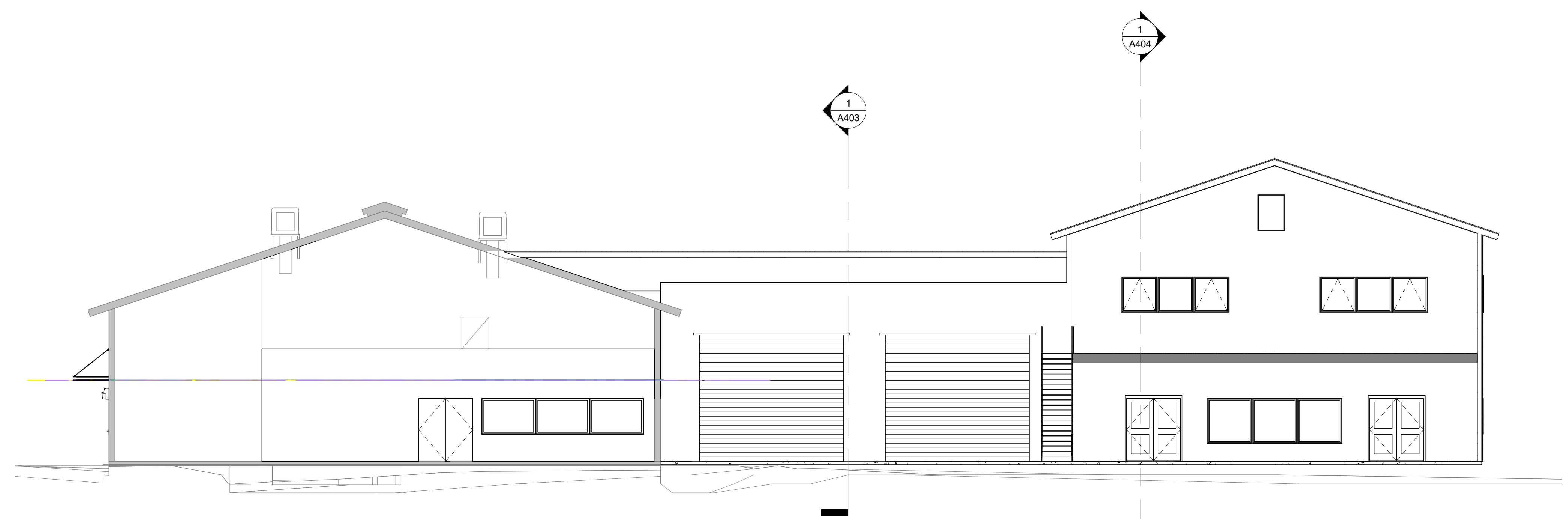
Revision	No.	Date

A402

9/11/2020 11:40:41 AM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt

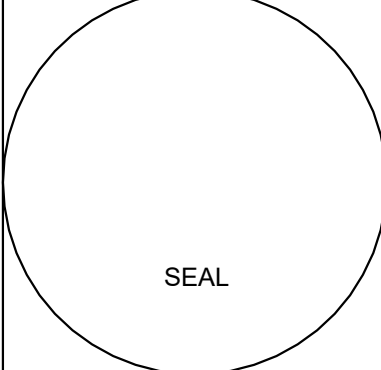


1 PROPOSED NORTH SECTION
1/8" = 1'-0"



2 PROPOSED EAST SECTION
1/8" = 1'-0"

NDG
ARCHITECTURE
8700 E. IOWA AVE. SUITE 100
DENVER, COLORADO 80231
PO BOX 634 EDWARDS, COLORADO 81632



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

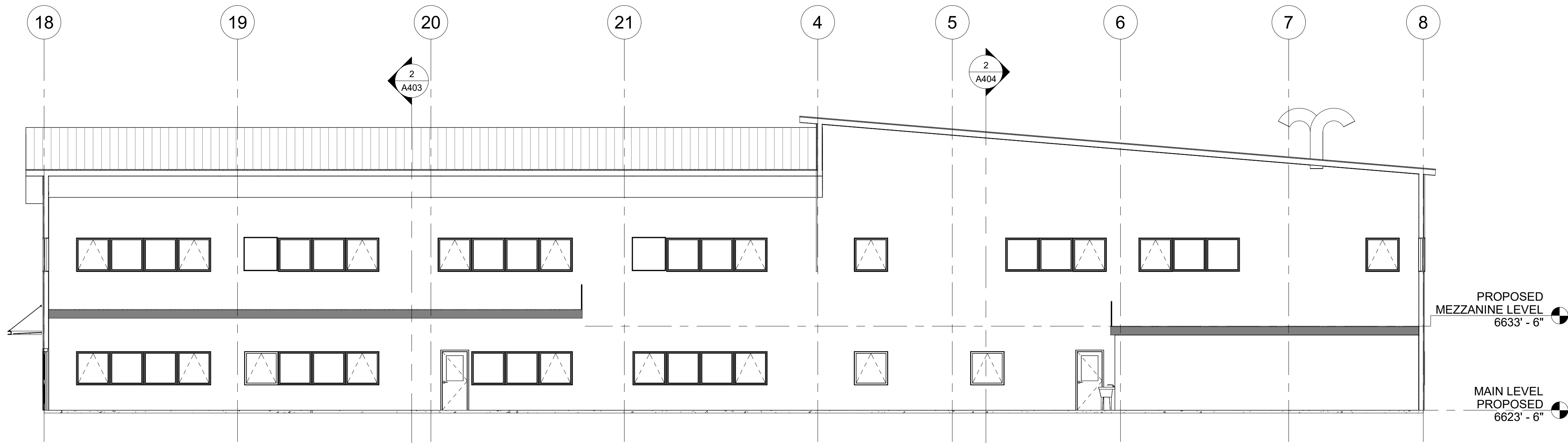
Job #
1802
Issue Date

Drawing Name
PROPOSED
BUILDING SECTIONS

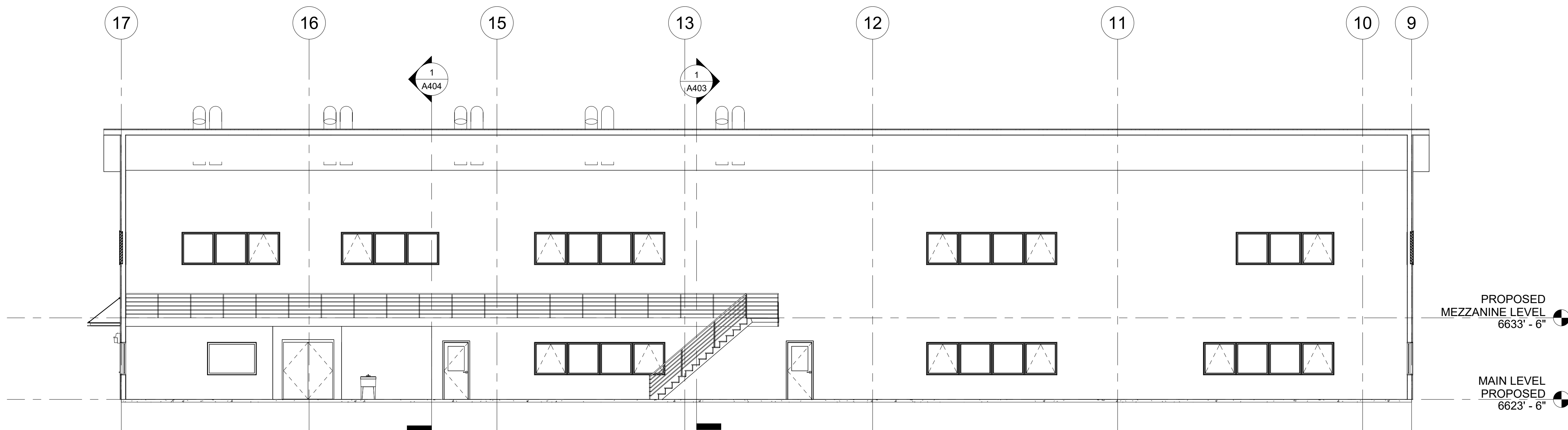
Revision	No.	Date
Plan Revisions	1	09/11/2020

A403

9/11/2020 11:40:52 AM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt

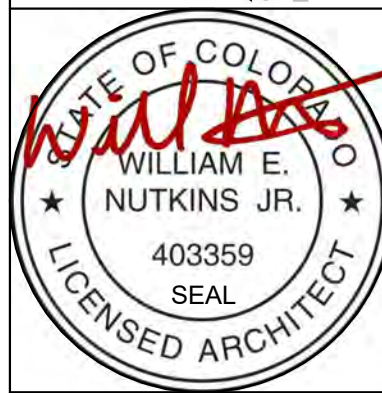


1 PROPOSED SOUTH SECTION
1/8" = 1'-0"



2 PROPOSED WEST SECTION
1/8" = 1'-0"

NDG
ARCHITECTURE
8700 W. US 91, FOUNTAIN, COLORADO 80026
PO BOX 634, EDWARDS, COLORADO 81632



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

Issue Date

Drawing Name
PROPOSED
BUILDING SECTIONS

Revision	No.	Date
Plan Revisions	1	09/11/2020

A404