



**Land Use and Development Code Update Committee
Monday, March 6, 2023, 6:00 PM
Public Meeting Room / Eagle Town Hall
200 Broadway, Eagle, CO 81631**

This agenda and the meetings can be viewed at www.Townofeagle.org.

PUBLIC WIFI – Eagle Guest

MEETING ACCESS INFORMATION

This will be an in-person meeting with virtual access through Microsoft Teams. First-time users will need to download the app.

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6:00 PM - REGULAR MEETING CALLED TO ORDER

APPROVAL OF MINUTES

Minutes dated December 12, 2022

DISCUSSION

Installment 2: Site Layout and Structure Design Standards

Adoption Process and Schedule

FUTURE AGENDA ITEMS

ADJOURN

I hereby certify that the above Notice of Meeting was posted by me in the designated location at least 24 hours prior to said meeting.

Nikki Davis
Administrative Technician II



MEETING MINUTES
Land Use and Development Code Update Committee
Monday, December 12, 2022, 6:00 PM
Public Meeting Room / Eagle Town Hall
200 Broadway, Eagle, CO 81631

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MEETING ACCESS INFORMATION

This was an in-person meeting with access for the public to attend via Teams.

6:00 PM MEETING CALLED TO ORDER

Schlosser nominated Beveridge as acting Chairman. Hoiland arrived shortly after. Hoiland resumed Chairman and called the meeting to order at 6:08 PM.

COMMITTEE MEMBERS PRESENT

Kyle Hoiland, Jack Albertson,
Rick Beveridge, Scott Schlosser,
Scott Turnipseed, Dawn Koenig,
Rick Pylman

COMMITTEE MEMBERS ABSENT

Allison Kent

STAFF

Chad Phillips – Com Dev Director
Jessica Lake – Planner I
Peyton Heitzman – Planner II
Cliff Simonton – Senior Planner
Elizabeth Garvin – Clarion Associates (via Teams)

APPROVAL OF MINUTES

1. Minutes dated November 7, 2022

The minutes were approved as presented.

OVERVIEW

1. Installment 3: Administration and Procedures

- Drafting Goals for Procedures:

- Consistent organization
- Full set of instructions
- Full set of procedures
- Differing levels of flexibility
- Ability to elevate applications if needed
- Paths for infrequent Code users
- General Provisions (Section 4.01)
 - Updated purpose statements > broader representation of what is important to Eagle.
 - Will this become repetitive? Statement should describe the outcome of the application process.
 - Transitional Provisions > what happens to applicants in progress while we're undergoing Code adoption.
- Changes under Common Review Procedures
 - 6 basic steps > each step may or may not apply depending on the procedure.
 - Application Process Summary Table is intended to be "at a glance" with site specific sections.
 - Submittal and Completeness Review section now includes Development Impact Report.
 - Does the Application Submission Waiver belong in the Pre-App Conference?
 - Helps the applicant to determine what can/cannot be waived earlier in the process.
 - Completeness Application Review and Action section now includes 'Neighborhood Meeting' (rezoning or PUD application).
 - Completeness Application Review and Action section now includes 'Administrative Approval' - applications that require staff decision.
 - New 'Required Notice Table' and 'Post on Site' requirement.
 - Communities are starting to do 'Informational Notices' i.e., *"Staff is reviewing an ADU for this property..."* or *"Community members in this neighborhood have x-amount of time to provide comments on x-application."*
 - Review and Decision-Making section now include 'Referral and Call-up Procedures' which allow staff or P&Z to bump-up/call-up or refer an application to the next deciding body.
 - Post-Decision Actions include 'Successive Applications'; modification or amendment approvals; lapsing and extension of approvals. Current LUDC has Successive Applications at 6 months which the Committee thinks is adequate time.
- Specific Applications
 - New Applications: Comp Plan Adoption/Amendment; Conditional Use Permit; Development Plan (instead of Development Permit and 3 ways to streamline approvals)
 - Conditional Use will either get Administrative or P&Z approval; does not require Council approval. Special Use will go to Council for approval (significantly more impactful use in the Community).
 - How rezoning conditions differ from PUDs – PUDs build on zoning and conditions of approval; imposes limits beyond regular zoning requirements.
 - Organizational change
 - Identify review criteria to set common expectations of what the decision-making process will focus on.
 - Will include cross-referencing to simplify document navigation.
- Code Administration
 - Administrative Adjustments
 - Variance vs. administrative adjustments; new Code is moving away from variances.
 - When would Administrative Adjustments apply? Only minor zoning permit process. At time of building permit?

- Appeal of Administrative Decisions; (new) Code Interpretation; Code Text Amendment (language of the code, not the zoning map). Anyone affected by the decision can file an appeal. When appeals will go to P&Z/Council will be clarified in the new Code.
- LERP regulations going to be incorporated in Title 4 and likely retain a similar structure: describe the framework with specific details written in a separate policy document.
- Required Improvements:
 - Typically found in Subdivision Standards and unified all under this section, it's not just a subdivision process anymore.
 - Same thing with Land Dedication and Fees.

DISCUSSION QUESTIONS

- What type of applications should hold a Neighborhood Meeting before applying?
 - Beveridge suggested it should be up to the applicant and voluntary. However, it should be done for applications that are potentially controversial; can be recommended by staff. Applicant must provide information about the meeting, but staff doesn't need to be there.
 - Pylman added if there is a requirement, there should also be standards as to how the meeting is executed.
 - If the applicant does not hold a Neighborhood Meeting, P&Z/Council could put the application on hold and require the applicant to complete this step. Also need to establish definition of 'Neighborhood'.
- Should the neighbor be given public notice when developments with Administrative Approval (no hearing) are proposed?
 - Oftentimes this is at the discretion of the Planning Director.
 - Consider two categories: Minor Administrative Approval and Administrative Permit. The latter requires noticing.
- Should the Code include a P&Z adjustment process that allows more than 15% adjustments or adjustments to subjective standards? Should applicants be allowed to request their own adjustments?
 - After 15%, applicant should seek out a variance approval.
 - If the Code provides sound regulations, do we want to deviate? FONSI (Finding of no Significant Impact)
 - Site condition standards to allow for flexibility. Limit number of adjustments.
 - Adjustments wouldn't apply to PUDs.

2. Future Agenda Items:

- Next LUDC meeting is scheduled for 1/23/23.
- Tentative Working Schedule –
 - Staff draft I2: Development Standards - Dec. 22 thru mid-January
 - LUDC Committee I3 Review: early January?
 - Legal Review I3: mid-January
 - LUDC Committee I2 Review: mid-January
 - Staff & LUDC UC Consolidated Draft review: mid-February (a couple of months)
 - Public Review > Work Sessions > Adoption

ADJOURN

Meeting adjourned at 8:00 PM.



I. Agenda

- A. Discuss draft Chapter 4.10, Site Layout and Structure Design Standards (attached)
- B. Preview Consolidated Draft LUDC
- C. Discuss adoption process schedule
- D. Schedule follow-up meetings

II. Site Layout and Structure Design Standards

The goal of the design standards update is to create site and structure standards that reflect Town layout and design priorities, establish standards that are more measurable and predictable for both applicants and staff, and fill in gaps to address new types of development and redevelopment.

Update Committee Questions:

- A. Do the draft standards address the right design issues for each development type?
- B. Are there standards that should be added or eliminated?
- C. Were you able to understand how this section applies? Do you have suggestions for better clarity?

Chapter 4.10 Site Layout and Structure Design Standards

4.10.010 PURPOSE

This chapter includes standards that regulate the physical layout and design of development within the Town to ensure the protection of the health, welfare, safety, and quality of life. These standards address the physical relationship between structures in the same development as well as development and adjacent properties, public streets, neighborhoods, and the natural environment, in order to implement the comprehensive plan vision for a more attractive, efficient, and livable community.

4.10.020 APPLICABILITY

- A. This standards in this chapter are organized into categories by development type, with Section 4.10.030 applicable to multiple development types:
1. Section 4.10.030, Standards Applicable to All Sites and Structures
 2. Section 4.10.040, Residential Structure and Site Design Standards
 3. Section 4.10.050, Mixed-Use and Commercial Structure and Site Design Standards
 4. Section **Error! Reference source not found., Error! Reference source not found.**
- B. Within these categories there may be standards that are also applicable to specific geographic areas, such as Grand Avenue, or specific development types, such as Large Format Retail.

4.10.030 STANDARDS APPLICABLE TO ALL STRUCTURES AND SITES

A. Design Intent, Character and Goals

The intent of these standards is to preserve and protect property values by creating, supporting, and reinforcing the Town's vision of elevating Eagle's inclusive culture, unique character, adventurous lifestyle, relationship with the environment, and connections.

The Town's design character is expressed through the adopted comprehensive plan and supporting plans. Eagle has different character areas, including Downtown and surrounding neighborhoods, Eagle Ranch, Chambers Avenue Area, Grand Avenue Corridor, East Eagle, West Eagle, Brush Creek, and the Eagle River Corridor. Each character area has specific existing and/or proposed design patterns and style.

New development, redevelopment, and infill development shall meet the requirements of this Code in keeping with adopted plans, neighborhood character, and where applicable in keeping with the context of existing and surrounding historic structures. Structure and site design decisions shall be guided by the following general design goals:

1. Enhance the Vibrancy and Viability of Downtown;
2. Reinforce Broadway Street as the Heart of the Community, from the Eagle River to Town Park;

3. Celebrate the Town's Unique Small-Town Character;
4. Connect Eagle's Unique Neighborhoods Physically and Visually Through a Walkable and Trail-Oriented Environment with High Quality Wayfinding; and
5. Maintain and Improve the Appearance of Eagle by Establishing and Reinforcing the Town's Identity and Sense of Place.

Additional guidance about the general design goals is provided in the comprehensive plan.

B. Building Materials

1. Permitted Façade Materials

- a. Building materials shall be selected for their appearance and ability to withstand the Town's variable mountain climate. Materials with demonstrated durability include, but are not limited to:
 - i. Wood and log,
 - ii. Stone, including sandstone, river rock, and moss rock;
 - iii. Segmented horizontal or vertical siding and cementitious siding
 - iv. Brick masonry and dimensional cut stone, and
 - v. Cast concrete manufactured to simulate natural materials.
 - vi. Split-face concrete block is allowed for mixed-use and nonresidential structures.
- b. Additional materials with similar durability may be approved by the Director. Less durable materials not included on this list, may be approved by the Director as secondary materials.

2. Prohibited Façade Materials

The following materials are prohibited unless otherwise specified in a specific section:

- a. Concrete block,
- b. Modular panel materials, such as Texture 111 and ribbed sheet metal.

C. Roofs, Eaves, and Parapets

1. Roofs, eaves, and parapets shall be designed to withstand the Town's variable mountain climate by utilizing appropriate pitch, drainage, and materials. Where the Town is uncertain of the durability of a material, the Director may request applicable quality, maintenance, and durability information as shown by the manufacturer's specifications and industry studies.
2. Permitted roofing materials are:
 - a. Tile;
 - b. Slate and equivalent synthetic materials or better;
 - c. Metal, shingle or standing seam, equivalent or better;
 - d. Dimensional architectural grade composition shingles;
 - e. Class A asphalt shingles;
 - f. Fire resistant treated wood shingles;

- g. Other materials of equivalent durability as approved by the Director.
3. Additional permitted materials that may be used where specified include:
- a. Cornices and soffits may be comprised of wood or metal.
 - b. Gutters and downspouts may be vinyl and/or metal.
 - c. Parapet wall materials, exclusive of copings, shall match the building wall.

D. Color and Reflectivity

1. Permitted materials shall meet the appropriate following color requirements:
- a. Façade colors shall be subtle, neutral, or earth tone colors. The Director may approve brighter colors for as appropriate for residential structures with Victorian-era design.
 - i. The use of very bright, high intensity colors or fluorescent colors is prohibited.
 - ii. Darker colors are permitted for roofs and may be used as an accent for up to 20 percent of a façade.
 - b. Building trim and accent areas may feature brighter, complementing colors, including primary colors.
 - c. Metal roof colors shall be muted.
2. All façade and roof materials shall have low reflectivity.

E. Fences and Landscape Walls

1. Materials

- a. Materials shall be wood, masonry, split face concrete block, or chain link. Not all materials are permitted in all locations.
- b. Opaque fencing shall be limited to back yards and service areas.
- c. Chain link fencing may be used in commercial or industrial zone districts, limited to backyards and service areas for demonstrated security purposes only. Where allowed, chain-link fencing must be vinyl-coated black or green and used in conjunction with plant material screen on the outside of the fence that is tightly spaced to create a visual screen.

2. Design

- a. The maximum height for a fence or wall in a front yard or street side yard is three feet. Front or street side fences or walls shall meet the following standards:
 - i. Fences shall be of wooden pickets, wood and wire, wrought iron, or non-opaque masonry, such as masonry piers shall be used with more transparent fencing in-between to achieve at least 50 percent open, as described in Figure 10-A: Open fence requirement.

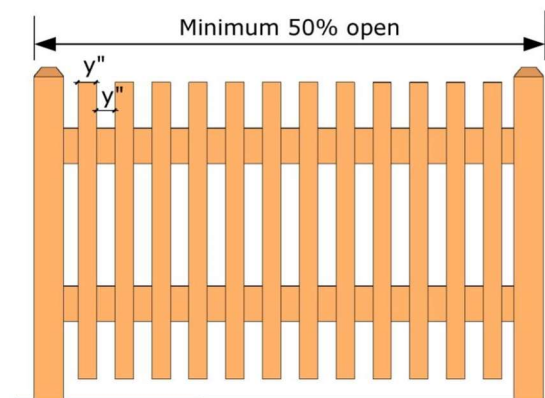
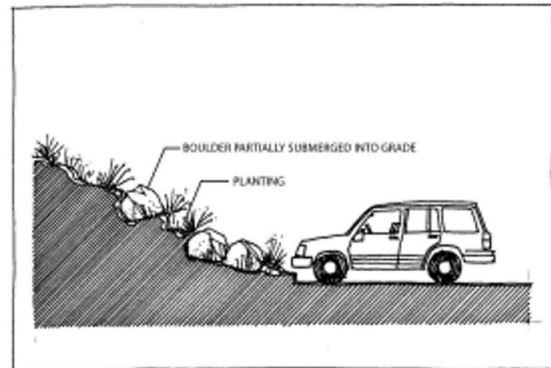


Figure 10-A: Open fence requirement

- ii. Chain link, rough-sawn wood, vinyl material, or concrete block fencing is prohibited in the front yard.
- b. The maximum height for any fence or wall in a rear or interior side yard is:
 - i. Residential districts: six feet.
 - ii. Mixed-use and nonresidential districts: eight feet.

3. Retaining Walls

- a. Retaining walls may be necessary to accommodate sudden grade changes and should be concrete with a sandblast finish or keyed brick.
- b. Where grade and space allow, boulders may be used. The base course of boulders should be partly submerged into finish grade.
- c. Where appropriate, pockets in-between boulders should be planted to introduce natural elements and break up the engineered appearance of the wall.



F. Circulation and Parking Location

1. Sidewalks shall be provided on both sides of all public and private streets.
2. A hierarchy of circulation in developments with multiple structures shall be designed to lead vehicles, pedestrians, and bicyclists safely from external public streets to internal private streets, drives, or walkways and then to outdoor spaces, parking areas, and entrances.
3. Circulation shall be designed to ensure safety for non-vehicular travel by minimizing crossing interaction between pedestrian/bicycle ways and vehicular traffic.
4. Pedestrian and bicycle sidewalk, multiuse path, or trail linkages shall be made between a project and existing or planned off-site amenities such as trails or open space. Where possible, linkages shall be designed to provide public view of the off-site amenity.
5. The project shall be designed to minimize negative vehicle traffic impacts on local streets and to surrounding uses.

4.10.040 RESIDENTIAL STRUCTURE AND SITE DESIGN STANDARDS⁷⁶

A. Standards for Residential Development

Residential development shall meet the requirements of Section 4.10.030 and following sections as applicable.

1. Applicability

- a. This section applies to:

⁷⁶ This new section is intended to set modest design standards for residential construction, primarily focused on the relationship between new construction or redevelopment and surrounding neighborhoods.

- i. Development of any structure that will contain only residential uses, including single-family detached dwellings, two-family dwellings, townhouse dwellings, and multi-family dwellings; and
 - ii. Structures that are exclusively residential and are included as part of a multi-building mixed-use development.
- b. The following development is exempt from this section:
- i. Development of any structure that will contain a mix of nonresidential and residential uses, which shall comply with Section 4.10.050, Mixed-Use and Commercial Structure and Site Design Standards;
 - ii. Subdivision or condominiumization of existing structures; and
 - iii. Accessory dwelling units, which shall comply with Section <> [ADU use-specific standards].
- 2. Mix of Housing Types**
 Developments with 20 units or more shall be designed to implement Town housing priorities through the provision of a mix of housing types in a range of sizes. A minimum of <> percent of units shall be _____ [insert a unit type or size priority from the housing study].
- 3. Building Orientation**
 Single-family and duplex structure development on infill lots or new lots within an existing neighborhood shall comply with the following:
- a. The orientation of the primary entrance and façade of the dwelling shall be consistent with the established pattern along the block face.
 - b. No residential structure shall be sited diagonally or otherwise skewed on the lot.
- 4. Fire Protection⁷⁷**
- a. New residential structures located more than three driving miles from the nearest actual or to be constructed fire station, shall be constructed with built-in, automatic fire protection systems.
 - b. Sellers of new residential structures located more than five driving miles from the nearest actual or to be constructed fire station, shall provide to all prospective buyers a statement that the property is considered not to have any fire protection other than built-in protection for insurance purposes. The developer and the Greater Eagle Fire Protection District shall mutually agree upon the contents and final form of statement, which shall be recorded in the records of the County Clerk and Recorder with the closing documents for the subject property at the time of sale.
- 5. Common Open Space**
 All development containing [x] or more residential dwelling units shall comply with the standards in Section<>, Open Space.

⁷⁷ Current 4.13.040; wildfire standards were moved to 4.11.050. This section may be removed if it is addressed through the Fire Code.

B. Attached and Multifamily Sites and Structures

1. Applicability

This section is applicable to single-family attached structures with three or more units and to multifamily structures.

2. Exterior Appearance Standards⁷⁸

a. The residential scale and character of a project shall be emphasized. In larger projects, the identity of the individual units shall be evident in the elevation. Box-like forms that are not relieved by massing or articulation of façades are prohibited.



Figure 10-B: Façade articulation example

b. The following elements shall be used to provide relief and contrast in the facade and delineate individual units as illustrated in Figure 10-B: Façade articulation example. A minimum of three elements shall be incorporated in single-family attached structures and a minimum of five elements shall be incorporated in multifamily structures:

- i. Balconies,
 - ii. Overhangs,
 - iii. Covered patios,
 - iv. Prominent entry features,
 - v. Windows,
 - vi. Door openings,
 - vii. Distinct variations in color (not a slight variation of a similar hue, such as beige or pastel),
 - viii. Variations in materials,
 - ix. Variations in building height,
 - x. Variation in roof form,
 - xi. Dormers,
 - xii. Projected or recessed building walls, or
 - xiii. Another architectural feature as approved by the Director.
- c. A minimum of two of the elements listed above shall be used on non-façade walls that are publicly visible to complement the front facade and provides visual interest.

⁷⁸ These graphics will be labeled to reflect the listed design requirements.

- d. When building elements such as decks and chimneys are repeated, some alterations to details of those elements such as varying orientation shall be used within the context of the overall design to provide interest and avoid monotonous repetition.
- e. The individuality and privacy of units shall be emphasized through the use of identifiable private or semi-private entries.
- f. Entries and stairwells shall be an integral part of the building design. Exterior stairwells shall be protected from the weather and partially screening or designed with architectural treatments that are integrated into the overall building elevation. Catwalks or long corridors lined with entrances to units are prohibited.
- g. Roof lines of greater than 50 linear feet shall be varied by providing different heights or varying roof orientations as illustrated in Figure 10-C: Roof line change example.
 - i. Roof forms shall be visually associated with underlying building mass units.
 - ii. Parapet walls shall be interrupted by setbacks or varying heights to provide variety to the roof line.



Figure 10-C: Roof line change example

3. Multi-Building Developments

Multifamily developments with more than three residential buildings shall incorporate more than one distinction among building designs. Distinct building designs shall be easily distinguished through a minimum of two of the following:

- a. A variation in length of 30 percent or more;
- b. A variation in the footprint of the building of 30 percent or more;
- c. A distinct variation in color and use of materials;
- d. A variation in the type of dwelling unit contained in the building that results in a significantly different scale and mass (i.e., apartments vs. townhomes or duplexes); and/or
- e. A distinct variation in building height and roof form.

4. Building Materials

- a. No more than 75% of a building façade or other wall facing a public street shall be comprised of a single façade material. The remaining 25% of the façade shall incorporate a different material.
- b. Exterior Insulation and Finish Systems (EIFS) shall not be utilized in high-traffic areas, such as at primary building entrances, where it may be easily damaged.
- c. Stronger and heavier materials such as masonry shall be located below lighter materials such as wood. Stone or masonry shall be used to delineate the building foundation.

5. Walls

- a. Patio walls and fences shall be an integral part of building design and shall match or be complementary to the main building materials.
- b. Exterior perimeter walls of a project, including retention walls, facing public streets shall be compatible with the main building materials.

6. Accessory Structures

- a. Non-dwelling structures, such as car ports and storage units, shall be designed with similar details, materials, and design elements as the principal structure.
- b. Bulk storage shall be provided as follows:
 - i. A minimum of one cubic foot of storage for each 3 square feet of gross area of the dwelling unit shall be provided for each unit not including areas for bedroom closets, kitchen cabinets, and food storage areas.
 - ii. Bulk storage areas intended for storage of materials other than food and clothing, such as tools, bicycles, ski equipment, etc. shall be designed for this purpose. Bulk storage areas shall be separate from water heaters or other types of mechanical or electrical equipment.
 - iii. Exterior or detached bulk storage areas shall be designed as an integral part of the project. Bulk storage areas shall be incorporated into garages, car ports, and screening walls, using materials and details similar to those of the dwelling unit to achieve an integrated appearance.
 - iv. The provision of additional storage beyond these minimum requirements is encouraged.

7. Private Outdoor Space

- a. In addition to complying with the standards in Section <>, Open Space, private outdoor space shall be provided in compliance with this section unless the site is located within 500 feet of an improved public park, plaza, or other open space and are connected by a continuous sidewalk meeting the design standards of the Americans with Disabilities Act.

- b. Private outdoor space may be provided as the usable floor area of any patio, porch, balcony, deck, or enclosed yard accessible directly from a dwelling unit that is for the exclusive private use by the residents.



Figure 10-D: Example of front yard private outdoor space.

c. Requirements

Private outdoor space shall be provided according to the following:

i. First-Floor Units

- (a) For units located on the first floor, the minimum size of private outdoor space shall be 80 square feet or ten percent of the gross floor area of the unit, whichever is larger. The minimum dimension of such space shall be eight feet and may include lot area within a required setback but shall not include required landscaping areas.
- (b) Porches and entry patios that serve one dwelling may be considered private outdoor areas. However, any area necessary for walkways from outside the private outdoor area to the entrance of the dwelling unit shall be excluded from the calculation of the private outdoor space. Walkways shall be assumed to be three feet in width.

ii. Units Above First Floor

For units located above the first floor, the minimum size of private outdoor space shall be 80 square feet or ten percent of the “livable” floor area of the unit, whichever is larger. Private outdoor space may be provided as follows:

- (a) Up to 100 percent of the required private outdoor space may be provided as common yard space. This space shall have a minimum dimension of 15 feet and may include lot area within a required setback but shall not include required landscaping areas.
- (b) Up to 50 percent of the total required private outdoor space may be provided as balconies that serve individual dwelling units and that are not be accessed from the ground by stairways. The minimum dimension of a balcony shall be eight feet.
- (c) Up to 25 percent of the total required private outdoor space may be provided as a rooftop deck. The minimum dimension of the deck shall be 10 feet.

iii. Design of Private Outdoor Spaces

Private outdoor spaces shall be designed as an extension of the living unit. Its location and relationship to interior spaces shall be given consideration to ensure that the outdoor space is both accessible and functional.

iv. Substitution for Infill⁷⁹ Development Projects

Where an infill development site is configured or sized so as to not permit the provision of private common open space to meet the standards of this section, the Director may allow the substitution of developed sidewalk areas or streetscape, including:

- (a) Public plazas or fountains;
- (b) Tree wells or landscaping such as shrubs, live groundcover, planters, and hardscape (e.g., decorative fencing, arbors, patterned paving);
- (c) Street furnishings, including but not limited to waste receptacles, bicycle racks, drinking fountains, or
- (d) Features consistent with surrounding development or an adopted sub area plan.

4.10.050 MIXED-USE AND COMMERCIAL STRUCTURE AND SITE DESIGN STANDARDS⁸⁰

A. Applicability

The standards in this section are applicable to all new structures, structural additions, and exterior renovations.

B. Generally Applicable Design Standards

The requirements of Section 4.10.030 apply to mixed-use and commercial development in addition to the following:

1. Site Layout

a. Building Location

Within developments that have three or more buildings, buildings shall be arranged and grouped using one or more of the following techniques (illustrated in **Error! Reference source not found.**):

- i. Frame the corner of an adjacent street intersection or entry point to the development;

⁷⁹ Infill Development definition: The process or development of vacant or under-utilized parcels within existing municipal areas that are already largely developed.

⁸⁰ Based on current 4.07.040. Some current standards were incorporated in the updated zone district dimensional tables. Parking and landscaping requirements have been moved to the parking and landscaping sections.

- ii. Frame and enclose parking areas on at least two sides;
- iii. Frame and enclose outdoor dining and/or outdoor gathering spaces between buildings;
or
- iv. On sites of 15 acres or more, frame and enclose a “main street” pedestrian and/or vehicle access corridor within the development.

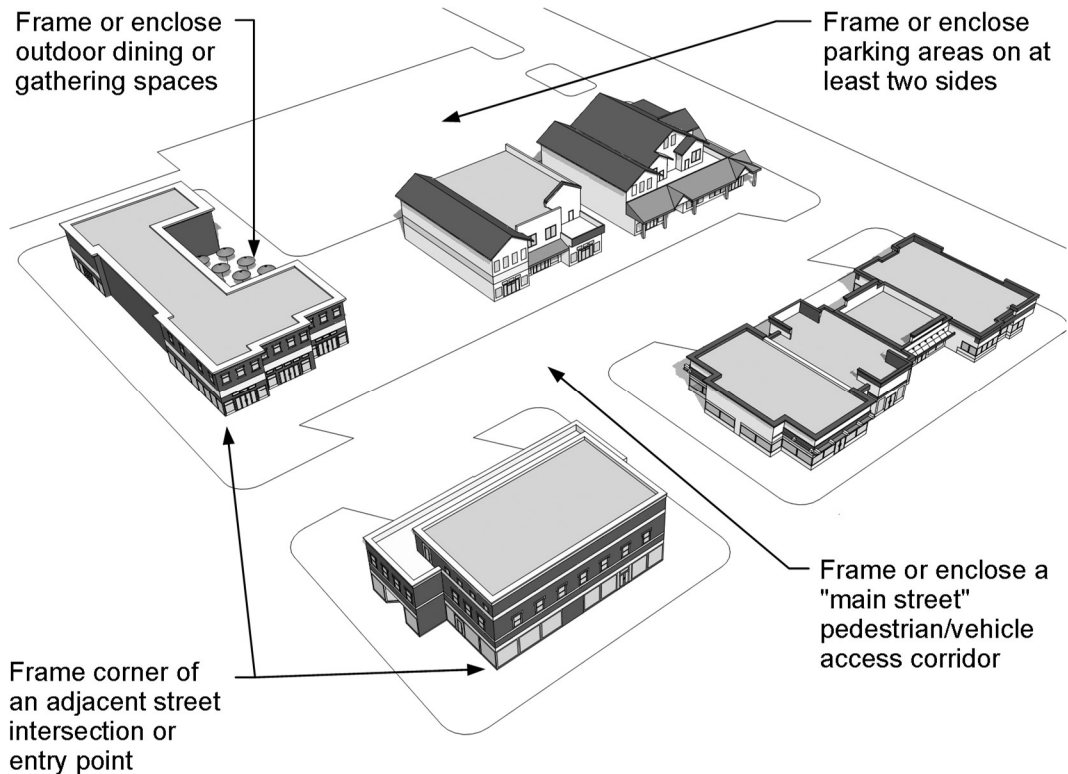


Figure 10-E Multi-Building Development

b. Building Orientation

- i. The building façade shall face the same public right-of-way as adjacent structures unless instructed otherwise in the zone district or applicable Town plan.
- ii. The facade containing the primary entry way shall parallel the street. Building entrances shall be visible and accessible from the pedestrian right-of-way along the building’s primary street.
- iii. Structures with frontage on I-70 shall have an internal orientation, rather than a highway orientation. Entryways shall face towards the internal road system. The Director may allow a highway orientation where site conditions make it difficult to achieve an internal orientation.
- iv. Mixed-use or residential structures adjacent to low density residential zone districts shall comply with the following standards:
 - (a) Service and utility entrances, mechanical support facilities, and unimproved building “back sides” shall not be located within public view of neighboring residences.

(b) Service and utility courts or alleys may contain these necessary support functions.

c. Mechanical

- i. Underground utility connection is required unless otherwise provided by the Building Official.
- ii. Where the connection meets the building, risers, utility meters, panel boxes, or similar, are encouraged to be covered with the same or compatible material as the siding material unless expressly prohibited by utility company regulations.

d. Sidewalks and Furnishings⁸¹

- i. Sidewalks shall be constructed on both sides of the street in all mixed-use and commercial zones.
 - (a) In areas where traditionally there has been a zero-foot setback, sidewalks shall have an integral curb and gutter.
 - (b) In areas where it is customary to have a tree lawn or planting strip between the sidewalk and property line (ROW?), the sidewalk shall be detached from the curb and gutter.
 - (c) Sidewalk **should** be set back from the back of curb five feet minimum, aligning and connecting to existing sidewalks. Sidewalk material shall be concrete or concrete unit pavers.
- ii. In areas where the sidewalk is adjacent to the building, planters and/or window boxes **should** be installed and maintained at the expense of the property owner. Planters shall not impede movement along the sidewalk.

⁸¹ This section is subject to further review by Public Works.

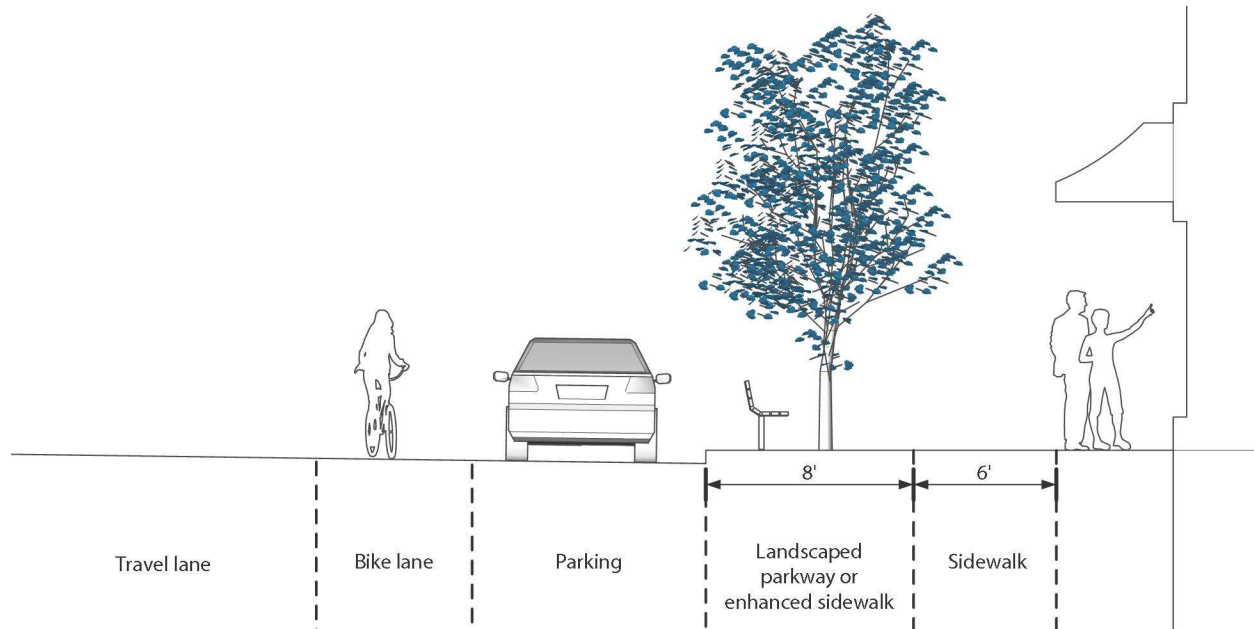


Figure 10-F: Sidewalk Design

e. Parking Location

- i. No more than 50 percent of all required parking may be located in between the property line abutting the public right-of-way and the building façade. Where a smaller percentage is specified in these standards, that percentage shall govern.
- ii. The remaining parking stalls shall be located to the sides or rear of the proposed building.
- iii. No more than two double-loaded rows of parking are permitted abutting the I-70 right-of-way. Parking areas shall be screened from view from I-70 with opaque landscape screening.

2. Building Mass and Form

a. Horizontal Façade Articulation

Buildings shall be designed to reduce apparent mass by dividing facades into a series of smaller components. No individual component shall have a length of more than 60 feet, measured horizontally. Components shall be distinguished from one another through two or more of the following, as illustrated in Figure 10-G: Horizontal Articulation:

- i. Variations in roof form or variations in roof height of two feet or more;
- ii. Changes in wall plane of 12 inches or more;
- iii. Variations in the arrangement and recessing of windows or doors; or
- iv. Ground-floor pedestrian-oriented design features along no less than 60 percent of the horizontal length of the segment. Pedestrian-oriented design features may include arcades, display windows, entryways, awnings, or other features. Shaded sidewalks that are part of the building design may be credited toward this standard.

- v. Structures on corner lots shall have similar façade design on both streets that they face.

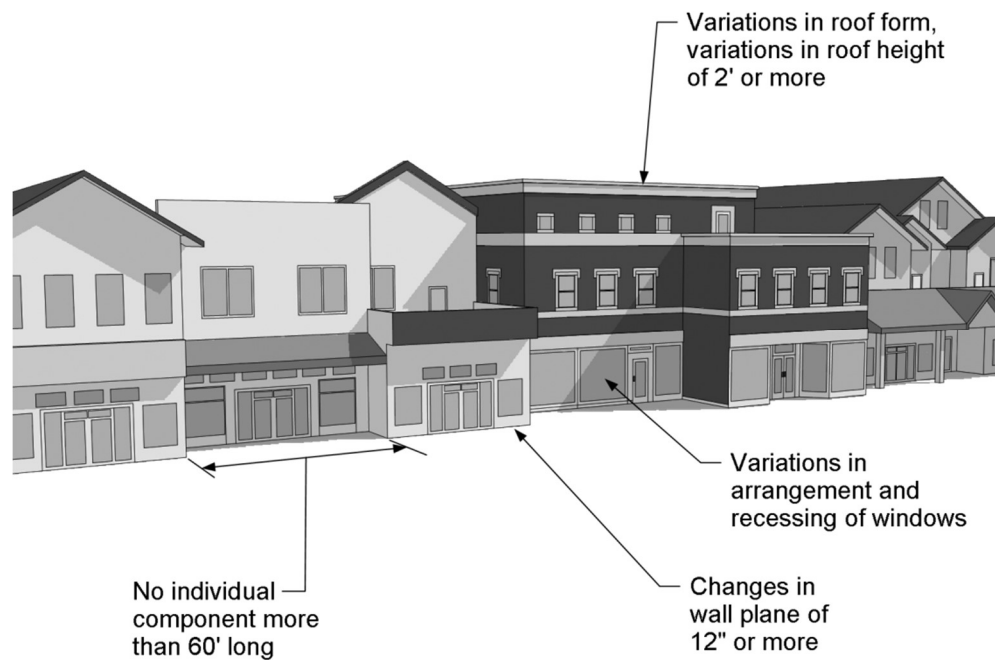


Figure 10-G: Horizontal Articulation

b. Vertical Façade Articulation

- i. Buildings shall be designed to reduce apparent mass by including a clearly identifiable base, body, and top, with horizontal elements separating these components.
- ii. The component described as the body shall constitute a minimum of 50 percent of the total building height.

c. Primary Building Entrance Design

Buildings shall feature visually prominent primary building entrances. Unless otherwise provided in this Code, buildings shall incorporate a combination of two or more of the following techniques:

- i. Canopy, portico, archway, arcade, or similar projection that provides architectural interest and protection for pedestrians;
- ii. Prominent tower, dome, or spire;
- iii. Peaked roof;
- iv. Projecting or recessed entry;
- v. Outdoor features, such as seat walls, landscaping with seasonal color, or permanent landscape planters with integrated benches; or
- vi. Other comparable techniques approved by the Director.

d. Roof Design

- i. Minimum roof pitch is 3:12.
- ii. Mansard roofs are prohibited.
- iii. Flat roofs are permitted provided that no mechanical equipment is visible from public rights-of-way and the roof shall be designed in keeping with the Town's design intent in Section <>. All flat roofs shall have a surrounding parapet wall.

e. Loading Docks and Service Areas

- i. Loading docks and service areas shall be located to the side or rear of building unless the building abuts the I-70 corridor.
- ii. If the parcel abuts the I-70 corridor, all services and loading areas shall be located behind an eight-foot high wall or screened per Section <> {landscaping}.

C. Location Specific Standards

In addition to the standards in Section 4.10.030 and 4.10.050B, the following standards shall apply in specific zone districts or geographic areas.

1. Broadway District

- a. New buildings shall be designed in a simple and rectangular in form; corners shall be at right angles.
- b. Chamfered corner entrances are allowed.
- c. Roof form shall match those of traditional buildings on the same or block. If there are no existing traditional buildings on the same block, the roof form shall match the predominant form existing within a two-block radius.
- d. Exterior facade material along the side of the building must match the exterior facade material found on the front of the building for a length of at least 15 feet from the ground level to the height of the roof. See Figure 10-H.
- e. Buildings that have a front setback of at least 15 feet, shall design the space between the right-of-way and the front of the building for landscaping, as hardscaped patio spaces, or a combination of both.

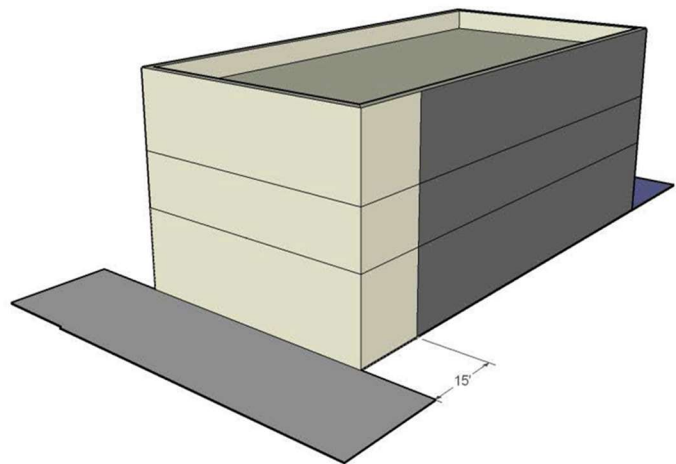


Figure 10-H: Exterior façade material wrapping

2. Chambers Avenue

The following standards apply to structures that front Chambers Avenue:

- a. Sheet metal exterior walls are prohibited; vertical metal siding is permitted on gables only.
- b. Modular panels are permitted.

3. Grand Avenue Corridor ⁸²

a. Design Intent

Historically, Grand Avenue was the primary traffic corridor for the Town. Structures along this corridor shall complement the historic nature of this travel route. Design of new construction or renovation along this corridor will reflect a blending of historic and mountain modern design styles and will help draw travelers to Broadway Street, Eagle's historic Downtown. New development, redevelopment, and infill shall meet the standards of this section and the following design goals:

- i. Vacant lots should be targeted for development to fill in existing gaps and strengthen the street edge along the Grand Avenue corridor.
- ii. Development should create a distinct edge between the highway right-of-way and private property through street improvements and landscaping.

b. Site Layout

i. Structure Orientation

Lots with a frontage of 25 percent or more along Grand Avenue shall be designed as follows:

- (a) The front façades of primary structures shall be oriented toward Grand Avenue. Sites with multiple structures shall orient primary structures to create a street wall along Grand Avenue before locating structures elsewhere on the site.
- (b) Buildings shall be sited square to a build-to line that is five feet back from the front property line along Grand Avenue to emphasize the street edge, as illustrated in Figure 10-1: Identification of build-to line.

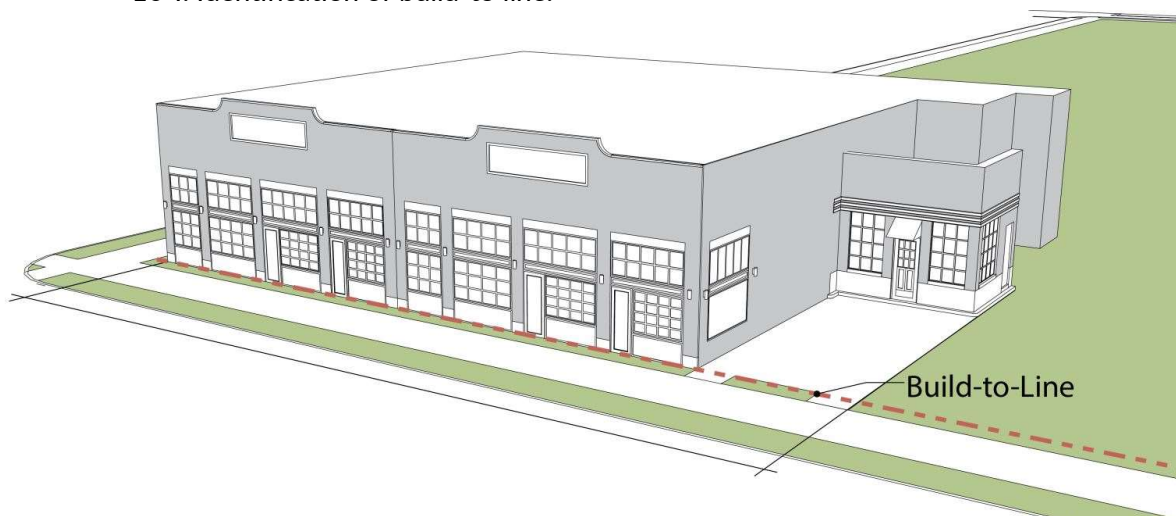


Figure 10-1: Identification of build-to line

- (c) Parking shall be located at least 30 feet behind the front building line to the maximum extent possible.

⁸² Current 4.07.090

- (d) Access shall be taken off of a side street wherever feasible. Access may be taken off of Grand Avenue where access from a side street is not available or feasible because of road design or traffic concerns, and shall be consistent with the Grand Avenue Corridor Plan.

ii. Fences

- (a) Opaque privacy fencing is required where commercial lots abut residential neighborhoods. The fence shall be between six and eight-feet high. The Director may approve the use of plant material as a screening device if plant quantities and plant spacing are designed to create dense, visual barriers.
- (b) Chain link and electrical fencing is prohibited.

iii. Signage and Murals

- (a) All freestanding signs shall be monument style and integrated with the proposed landscaping.
- (b) Murals and art displays that are not signs are permitted along Grand Avenue as part of a permanent building or a revolving installation. Any permanent art must be approved by the Director.

c. Structure Design

- i. First floor design shall meet the following requirements:
 - (a) Residential uses in structures abutting Grand Avenue shall be permitted either above first-floor non-residential spaces or behind the front 30% of the ground floor, as measured from the front wall. First floor space shall be designed to accommodate nonresidential uses.
 - (b) Lots that have a primary frontage along a side-street with only 25% or less of frontage along Grand Avenue are not required to have structures designed for first-floor nonresidential uses.
 - (c) Garage doors shall not face Grand Avenue and shall be consolidated and located at one end of the building to reduce vehicular congestion.
- ii. Strip malls are not permitted, however, multiple storefronts on one building are permitted and shall be designed per Section<>.
- iii. Roof forms should vary: gable, hip, shed, and flat roofs with parapets are allowed.
- iv. Porches are not a required element, but any porches provided must project from the central form and be covered by a separate roof.
- v. Building height along Grand Avenue shall be a maximum of 40-feet. Residential behind the commercial shall blend in with the surrounding neighborhood and may be a maximum of 35-feet.
- vi. Rooftop decks, bars, and gardens are permitted and may exceed the maximum building height by up to 15%. All rooftop mechanical equipment shall be screened from public views.

d. Architectural Detail

- i. Storefront display windows are permitted at ground level only. First floor glass panels shall have low reflectivity and high transparency, allowing for visual access into the building at the ground level.
- ii. Garage doors made from glass and metal that meet all applicable building codes are a permitted alternative to windows.
- iii. Pre-approved color samples for Grand Avenue are available at Town Hall. Colors that are not pre-approved maybe submitted to the Director for review on case-by-case basis.

4. North Interchange and East Eagle Area

a. Design Intent

The North Interchange and East Eagle Area incorporates privately owned, commercially zoned land north of the I-70 interchange, and in between the I-70 corridor and US Highway 6 east of Chambers Avenue. This area is completely separated physically and visually from the developed Town. Because of its isolated location, development on these lands should have less of an impact to the community, if treated sensitively, than if these uses occurred Downtown. Where sites develop with commercial activities that generate high volumes of user traffic, master planning of large parcels should be strongly encouraged. Careful consideration to the layout of curb cuts along existing public roads should be given. To the extent possible, the preservation of large pieces of indigenous landscape and plant materials should be an important objective.

b. Site Layout for Outdoor Uses

- i. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way.
- ii. No areas for outdoor storage, trash collection or compaction, loading, or other such uses shall be located within twenty (20) feet of any public or street, public sidewalk, or formal internal pedestrian way, such as a marked or signed walkway.
- iii. Trucks, trailers, and outdoor containers used for functions such as delivery or maintenance shall only be parked or stored in designated loading and unloading areas that are completely screened from adjacent streets or properties for the duration that they are on the site, and shall be removed promptly upon the completion of use or service.
- iv. Exterior display areas shall be clearly depicted on the approved development plan. All exterior display areas shall have a minimum buffer of 10 feet from vehicle lanes or parking areas and shall be permanently screened around the perimeter of the exterior display area with walls or fences.
- v. Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash dumpsters and trash compacters shall be incorporated into the overall design of the building and the landscaping so that their acoustic impacts are fully contained and their visual impacts are screened from view from adjacent properties and public streets, and the screening materials shall be consistent with the principal materials of the building and landscaping.

D. Large Format Retail Development⁸³

⁸³ New section.

1. Applicability

In addition to Section <>, the following standards shall apply to large format retail development that meets the following criteria:

- a. New construction of a large retail establishment, defined as single tenant building with at least 50,000 square feet of gross floor area for the purpose of retailing; or
- b. Expansion of or addition to an existing building that creates a large retail establishment.

2. Site Layout

a. Location and Design of Parking Lots

- i. No more than 30 percent of the off-street surface parking spaces provided for all uses located in the building containing a large retail establishment shall be located between the front façade and a public street.
- ii. In order to reduce the scale of parking areas, all surface parking areas shall be broken up into smaller parking blocks containing no more than 40 spaces:
 - (a) Parking blocks shall be separated from each other by a minimum five-foot wide landscaping strip, access drives or public streets, pedestrian walkways, or buildings.
 - (b) Each parking block shall have consistent design angles for all parking within the block.
 - (c) Parking blocks shall be oriented to buildings to allow pedestrian movement down and not across rows (typically with parking drive aisles perpendicular to customer entrances).

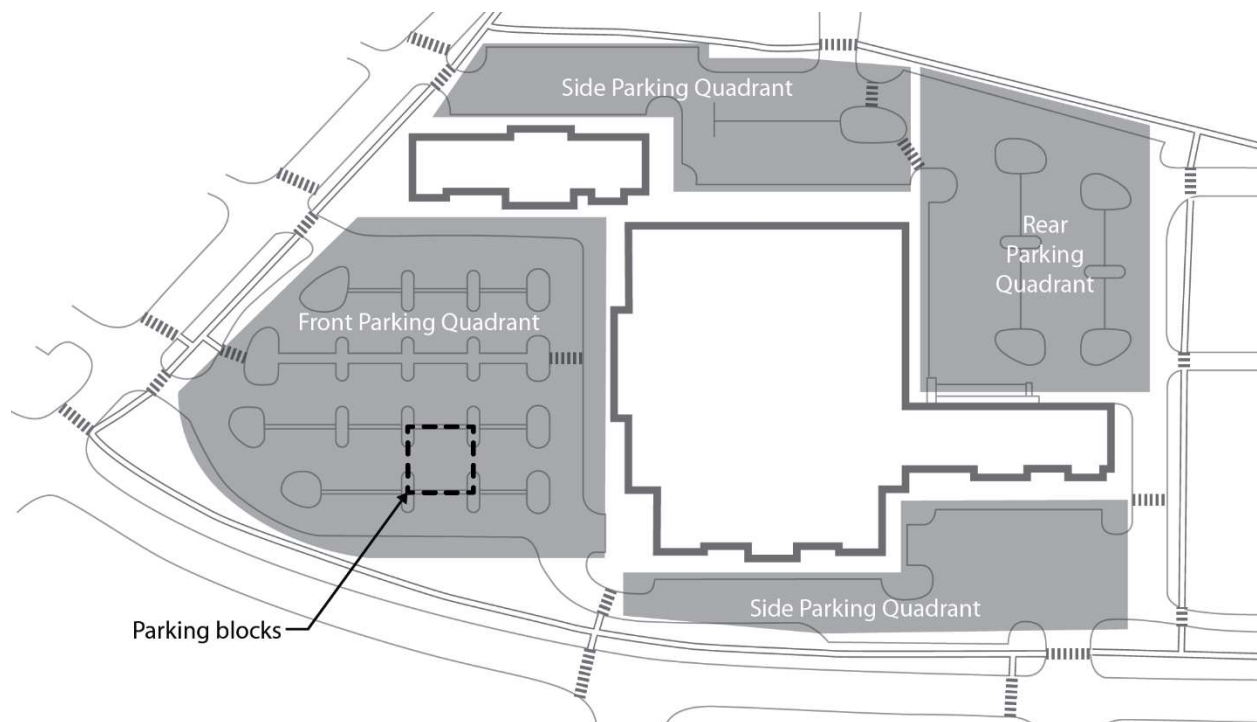


Figure 10-J: Location and Design of Parking Lots

b. Pedestrian Access and Circulation

Continuous pedestrian walkways at least eight feet wide shall be provided along the full length of any primary building façade featuring a customer entrance and along any facade abutting customer parking areas.

- i. Walkways shall be located at least six feet from the facade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the facade.
- ii. As an alternative to the six-foot planting bed, tree grates with decorative paving may be utilized along 50 percent of the facade.
- iii. For all options, a minimum eight-foot unobstructed pathway shall be maintained on the pedestrian walkway.

c. Site Amenities

i. Minimum Area Devoted to Site Amenities

All development subject to this section's design standards shall provide a minimum of ten square feet of site amenities, open areas, and public gathering places for each 20 parking spaces provided.

ii. Allowed Site Amenities

Site amenities shall consist of at least two of the following:

- (a) Patio or plaza with seating area;
- (b) Mini-parks, squares, or greens;
- (c) Bus stops in coordination with the regional transit agency;
- (d) Customer walkways or pass-throughs containing window displays;
- (e) Public art;
- (f) Any other similar, deliberately shaped area and/or focal feature that, in the Director's judgment adequately enhances the development and serves as a gathering place.

iii. Aggregation Allowed

In developments containing more than one building, the required area may be aggregated into one larger space, provided such space is within easy walking distance of the large retail establishment and other major tenants in the center.

3. Structure Design

a. Customer Entrances

i. Number and Location

- (a) Buildings containing large retail establishments with 100,000 square feet of gross floor area or more shall feature customer entrances on at least two sides of the building. The two required sides shall be those planned to have the highest level of public pedestrian activity.
- (b) When additional commercial establishments under separate ownership are located in the same primary building as a large retail establishment, each such establishment shall have an exterior customer entrance that complies with the visually prominent entrance requirement below, except that such entrance shall include a minimum of two visual

prominence features listed in subsection <> below. Restaurants containing less than 2,000 square feet of gross floor area are excluded from this requirement for an exterior customer entrance, except that if such an entrance is provided, the entrance shall comply with the visually prominent entrance requirements below.

ii. Orientation

The primary entrance to a large retail establishment shall face the primary street adjacent to the site. The primary street will typically be the street with the highest level of vehicular and pedestrian activity.

iii. Visual Prominence

(a) In order to provide clearly defined and highly visible entrances, all building and store fronts subject to this section shall have customer entrances featuring no fewer than three of the following:

- (i) Canopies, arcades or porticos that, while satisfying weather protection requirements of Subsection (4)f., below, also lend visual prominence to the entrance;
- (ii) Overhangs, recesses, or projections;
- (iii) Raised corniced parapets over the door;
- (iv) Peaked roof forms;
- (v) Tower features integrated with the building design that extend above the building roof line;
- (vi) Arches;
- (vii) Outdoor patios;
- (viii) Display windows;
- (ix) Integral planters or wing walls; and
- (x) Entrance atriums with visual connections to outside.
- (xi) Transparency and Light

(b) The principal customer entrance to any building shall feature at least two elements from the following:

- (i) Clerestory windows;
- (ii) Windows flanking main entrance door;
- (iii) Large entrance door(s)—Transparent, and double hung; and
- (iv) Ornamental light fixtures.

b. Weather Protection

Canopies, arcades, or similar permanent sheltering roof structures shall provide weather protection along facades of buildings to pedestrians at customer entrances, taxi and drop off zones, valet parking, and bicycle parking. Weather protection means, for purposes of this provision, a permanent shelter or covering of sufficient length and width to provide protection to pedestrians from sun, wind, rain, or snow.

4.10.060 INDUSTRIAL STRUCTURE AND SITE DESIGN STANDARDS⁸⁴

In addition to Section <>, the following standards shall apply to development in industrial zone districts.

A. Site Design

- a. Structure space that is designed to be publicly accessible, such as offices or showrooms, shall be oriented to a street front, and where possible to a corner to establish the building lines of each street.
- b. Loading and/or storage area that is oriented to I-70 or Highway 6 shall be set back from the property line a minimum of 20 feet and screened from direct view from either roadway with a 10-foot wall or opaque fence.

2. Structure Design

- a. The first-floor façade of all buildings, including structured parking facilities, shall be designed in keeping with pedestrian-scale interest and activity through the use of elements such as windows, awnings, and other similar features.
- b. Architectural features and treatments shall be provided on all publicly visible sides of a structure.

⁸⁴ New section.