



**Land Use and Development Code Update Committee  
Monday, October 3, 2022, 6:00 PM  
Public Meeting Room / Eagle Town Hall  
200 Broadway, Eagle, CO 81631**

*This agenda and the meetings can be viewed at [www.Townofeagle.org](http://www.Townofeagle.org).*

**PUBLIC WIFI – Eagle Guest**

**MEETING ACCESS INFORMATION**

This will be an in-person meeting with virtual access through Microsoft Teams. First-time users will need to download the app.

**Microsoft Teams meeting**

**Join on your computer, mobile app or room device:** [Click here to join the meeting](#)

Meeting ID: 223 844 499 146 | Passcode: XDVR2

**Or call in (audio only):** [+1 469-770-0416](tel:+14697700416), [464626292#](tel:+1464626292) United States, Dallas

Phone Conference ID: 464 626 292#

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**6:00 PM - MEETING CALLED TO ORDER**

**APPROVAL OF MINUTES**

Minutes dated September 19, 2022

**DISCUSSION**

Installment 2: Parking, Subdivision, Sustainability, and Hazards

**FUTURE AGENDA ITEMS**

**ADJOURN**

I hereby certify that the above Notice of Meeting was posted by me in the designated location at least 24 hours prior to said meeting.

Nikki Davis  
Administrative Technician II



**MEETING MINUTES**  
**Land Use and Development Code Update Committee**  
**Monday, September 19, 2022, 6:00 PM**  
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**PUBLIC WIFI – Eagle Guest**

**MEETING ACCESS INFORMATION**

This was an in-person meeting with access for the public to attend via Teams.

**6:00 PM MEETING CALLED TO ORDER**

Hoiland called the meeting to order at 6:03PM.

**COMMITTEE MEMBERS PRESENT**

Dawn Koenig, Kyle Hoiland, Scott Turnipseed,  
Rick Pylman, Scott Schlosser, Allison Kent,  
Rick Beveridge (via Teams)

**COMMITTEE MEMBERS ABSENT**

None

**STAFF**

Chad Phillips – Community Development Director  
Jessica Lake – Planner I  
Cliff Simonton – Senior Planner  
Tez Hawkins – Planning Consultant (via Teams)  
Nikki Davis – Administrative Tech II  
Elizabeth Garvin – Clarion Associates (via Teams)

**APPROVAL OF MINUTES**

1. Minutes dated August 15, 2022

The meeting minutes were approved without change.

**DISCUSSION**

**1. Installment 2: Design Standards and Landscaping**

**Project Timeline:** Adjusted to reflect adoption by late January / early February 2023. This adds about 6 more weeks of drafting to the schedule.

**Site and Structure Standards, contents:**

Structure Design Standards  
Locations-Specific Design Standards  
Screening  
Fences & Walls

**Attached/Multifamily Design Standards:**

- Do we want to attach structural/site standards to attached multifamily development projects? Consider how the building is oriented on the lot, parking location, extra storage, and regulating types/colors/mix of materials on the building. Minimum standards should be established.
- How do we define mountain town architecture that aligns with Eagle's character?
- Does this mean establishing a design review board (DRB)? The Town currently does not have a separate review process apart from utilizing the design guidelines. Turnipseed advocated for a DRB, otherwise staff and the Planning Commission are the only groups responsible for interpreting the standards. Most DRBs are HOA driven and we should also consider Town of Vail's DRB process.
- Consider identifying design priorities and creating standards around those items. The committee had mixed opinions; don't want to dictate too much but also don't want to make the guidelines too broad.
- DRBs are seeing more Denver-based developers in our community and the concept of mountain modern is stretched too much toward modern.
- The code can still attach design standards to use-by-right.
- Consider creating a checklist to make the review process more objective and help quantify the standards. This should also help with time & efficiency.
- If standards are broader, they will have a longer shelf life.

**East Eagle Design Standards:**

- Community members have expressed that they like the design of Basecamp in Frisco and Willits Bend in Basalt.
- There is a distinction between interstate gateway and broader interstate commercial.
- Consider a DRB to enforce stricter design standards identified in the East Eagle Sub Area Plan (EESAP).
- Landscaping – more hardscape instead of greenscape?

**Grand Avenue Design Standards:**

- Consider applying basic design standards to mixed-use. Loosen up the regulations but crank up the design standards in this area.
- This is about controlling change at a slower speed. How do we align the design to how we want the town to look in the future?
- Current design standards for Hwy 6 are not ideal but if we want to get the most out of this land, the Town needs to reassess.
- Encourage development through incentives.

**Landscaping Buffers & Materials:**

- Boundary buffers are frequently negotiated in the current code. Garvin suggested creating three types of buffers commonly used (visual enhancement, filtered screen, and screened separation).
- The committee had mixed opinions, some expressing we don't need a detailed applicability chart. There will likely be specific standards that apply in East Eagle.

- Consider use of water-wise plant materials for redevelopment. Consultants will check back with the Fire District on exemptions. There is a push in Eagle for more fire suppression in new development that will impact enforcement of fire-wise planting.
- Do we focus on water-wise landscaping and forego fire-wise materials? The consultants will prepare recommendations and can address fire-wise with building materials too.
- Consider reducing water tap fees to incentivize new development.
- Reassess landscape design standards for parking lots which are unrealistic. Trees are eventually removed after they've destroyed the lot. There are certain trees that are more ideal than others.

#### **Home Occupation:**

- Eagle County has two levels – home occupation & home business. This sector is problematic for code enforcement.
- Home occupation should be discrete. Consider what the primary & secondary uses are.
- Is there a different sense of scale between single family / multi-family? We may want to break this out into different use categories by zone district.
- Consider creating a list the things that cannot happen in terms of impact. Model enforcement like a nuisance ordinance and make enforcement easy.
- Add measurements, move away from “adversely affecting”.

## **2. Future Agenda Items**

#### Fall Schedule –

- 10/3: Parking and Loading
- 10/17: Sustainability, Resilience, and Hazards; Planned Development
- 11/7: LERP and other affordable housing updates
- TBD: Administration & Procedures

## **ADJOURN**

Meeting adjourned at 7:55PM.

**I. Agenda**

- A. Parking and Loading
- B. Subdivision Standards
- C. Sustainability and Resilience
- D. Natural Resources and Hazards

**II. Discussion Topics**

- A. Can we more specifically describe the Eagle parking problem and determine whether it is also a LUDC-created problem?
- B. Our project outreach didn't bring up any significant issues with the subdivision standards. We will carry the current regulations forward and clean them up so they are complete and integrated into the rest of the LUDC. Is there anything else we should know about the subdivision regulations?
- C. What are the Town's priorities for sustainability, resilience, and hazards? Here's the section from the Code Assessment, we want to check in and make sure this is heading in the right direction.

**From ReCode Eagle: Land Use and Development Code Assessment**

Eagle's current LUDC includes some very basic standards related to fire protection and non-flood natural hazards and more extensive regulations regarding flood damage.

Section	Title	Comments and Recommendations
4.07.150	Fire protection standards	Review and update as recommended by GEFDP; cross reference landscaping requirements
<b>4.13 Subdivision Design, Improvement, and Dedication</b>		
4.13.030	Land subject to natural hazards	Make generally applicable to both subdivision and zoning development
<b>4.16 Flood Damage Prevention Regulations</b>		
4.16.010	Authorization and findings of fact	Carry forward
to		
4.16.070	Provisions for flood hazard reduction	

To implement the Town’s current plans, the consultant team proposes the creation of a more extensive set of regulations focused on sustainable and resilient development, including regulatory approaches to reduce transportation-related emissions, support the use of renewable energy, decrease energy consumption, conserve water, and improve the natural environment. These standards will be drafted in conjunction with regulations that more clearly address development in sensitive or hazardous areas, such as steep slopes or the wildland urban interface.

### Renewable Energy

The Climate Action Plan for the Eagle County Community (2016, 2021 update pending Town approval) includes recommendations for the use of solar energy that can be partially implemented through the LUDC update. The Town has recently worked with SolSmart (a partnership between the Interstate Renewable Energy Council (IREC) and the International City/County Management Association (ICMA)) to undertake a review of the LUDC’s current solar regulations and make recommendations about improvements that would support the use of more solar energy in Eagle. SolSmart found that the LUDC definitely has room for improvement: “The Town of Eagle Municipal Code and Land Use and Development Code are silent regarding the use of solar energy. They do not provide fundamental information about the use of solar energy – such as a purpose, definitions, general regulations including clarification on accessory use and primary use solar. Including basic information about solar energy improves transparency of processes and clarity of development requirements and can enhance the growth of the local solar market in an organized and efficient manner.”

Eagle County can build resilience by capitalizing on Colorado’s resource abundance with on-site renewable energy generation.



#### Co-Benefits of Local Renewable Energy Generation

- Resilient energy supply via distributed energy systems and energy storage that allows for reliable power during emergencies.
- Improved health and safety (better air quality and reduction of gas leaks) by avoiding fossil fuel-based electricity generation.
- Support for ecosystem services by combining low-impact solar development with native vegetation growth.
- Economic growth provided by both direct and indirect job creation, support of local businesses, and energy cost savings.

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*Climate Action Plan excerpt*

The consultant team will prepare a set of solar standards that regulate the full range of accessory solar through utility-scale solar to ensure that there is complete set of standards and review criteria for any solar project that might be proposed in the Town. We will also work with the Town to determine whether there is a viable opportunity wind power, and if so, provide a similar range of standards designed to address wind energy.

### Sustainable Site Design

Encouraging, promoting, and requiring sustainable development as part of the development process can be done through a three-part approach. First, sustainability should be partially accomplished through the LUDC as part of the core DNA of the Code. For example, important sustainable outcomes can be well-supported by LUDC basics, such as zone district standards and site layout standards focused on connecting the Town:

Sustainable Outcome	Development Preference	LUDC Approach
Water conservation	Compact, mixed-use development	<ul style="list-style-type: none"> <li>• Mixed-use and smaller lot zone districts</li> </ul>

Sustainable Outcome	Development Preference	LUDC Approach
		<ul style="list-style-type: none"> <li>• Subdivision layout standards</li> <li>• Landscaping design and materials</li> </ul>
Walkable community	<ul style="list-style-type: none"> <li>• Compact, mixed-use development</li> <li>• Connected trails and sidewalks</li> <li>• Limit auto-oriented development</li> </ul>	<ul style="list-style-type: none"> <li>• Mixed-use and smaller lot zone districts linked to FLUM</li> <li>• Mobility and connectivity standards</li> <li>• Subdivision layout standards</li> <li>• Complete streets</li> <li>• Bike parking</li> </ul>
Housing equity	<ul style="list-style-type: none"> <li>• Range of housing types</li> <li>• Provision of more affordable housing</li> </ul>	<ul style="list-style-type: none"> <li>• Lot size and use standards</li> <li>• ADU regulations</li> <li>• Inclusionary zoning requirement</li> </ul>
Natural resource protection	Limit development to a light touch in sensitive areas	<ul style="list-style-type: none"> <li>• Open space standards focused on conservation</li> <li>• Environmentally sensitive lands standards</li> </ul>

Second, some aspects of sustainability, such as green buildings and energy conservation, are addressed through the building code and its related code components. And third, a range of sustainable development topics including stormwater management, green infrastructure, tree protection, community health, local food production, and renewable energy can be addressed through specific regulations in the updated LUDC.

**Incentives or Mandates**

There are typically two approaches to implementation of topic-specific sustainability standards: (1) mandates and strict regulations, or (2) incentivized inclusion of sustainable development practices in individual projects. Regulating hazard areas is done through mandates because of the inherent life safety issues.

Creating incentives for the sustainable or resilient development that the Town wants to encourage can be an effective way to achieve many of the community’s environmental goals, while allowing developers to determine which specific approach will work best for their proposed project. To address the need for flexibility (based on constraints like location, development type, or land uses), Clarion has worked with communities to establish a point-system approach that provides a menu of site and building design practices that will support sustainability and resilience goals. This approach allows applicants to choose from a list of sustainable design measures (each with varying levels of value) until they reach a certain number of points. This example is from another community:

Table 6.480.C-1: Menu of Sustainability Options		
Category	Site or Building Design Feature	Maximum Points
<b>MULTI-MODAL TRANSPORTATION</b>		
<i>Intent:</i> Promote public health by encouraging daily physical activity associated with alternative modes of transportation such as walking, bicycling, and the use of public transit; promote safe and efficient circulation within the community for all modes; and promote energy savings and reduced greenhouse gas emissions associated with the use of alternative modes.		
Pedestrian Access	Where a development encompasses a block or more of land and is enclosed by fences, perimeter walls, solid landscaping, or retaining walls, provide public pedestrian access through the perimeter at an average interval of not less than 200 linear feet and that in no instance exceeds 300 linear feet.	5
Bicycle Facilities	Provide bicycle parking in close proximity to building entrances (2 pts). Include enhanced facilities to encourage the use of bicycles for transportation. <ul style="list-style-type: none"> <li>○ Provide lockers for all required bicycle parking (1 pt).</li> <li>○ Provide showers and clothing lockers for bicycle commuters (1 pt).</li> <li>○ Provide indoor bicycle lockers (1 pt).</li> </ul>	3
Livable Streets	Project streets are designed and/or retrofitted to meet livable street standards including bicycle accommodations, safe pedestrian crossings that incorporate curb extensions or median islands where necessary, and public transit pull-outs where appropriate.	15
Park and Ride	Provide a park and ride lot to serve existing or anticipated KCATA, MetroFlex, or other public or private transportation service.	5
Parking Maximum	Limit automobile parking spaces provided to the minimum number of spaces required by Table 12-1, Minimum Parking by Use. For example, for a 20,000 square foot medical office space, provide no more than 40 parking spaces (standard is 5 spaces per 1,000 gfa).	5
Electrical Vehicle (EV) Charging Stations	Provide a Mode 3 or 4 or Type 4 electrical vehicle charging station with public access (2 pts per station).	4

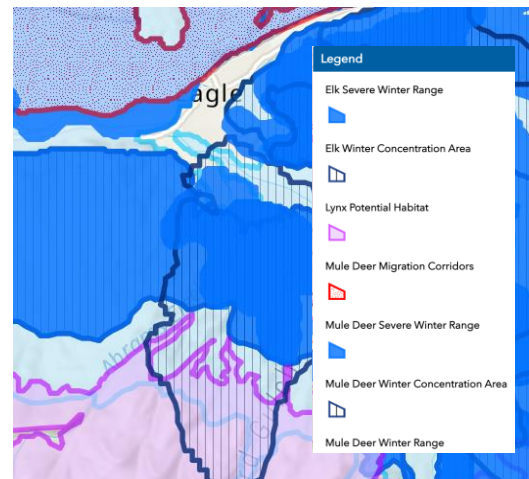
As we start drafting Installment 2, the consultant team will work with Town staff and the Land Use and Development Code Update Committee to choose a regulatory path for sustainability and resilience standards.

### Outdoor Recreation

Following a preliminary conversation with the Open Space and Recreation Advisory Committee (OSRAC), the consultant team will propose a set of standards for public amenities required to support publicly accessible trailheads and other types of local outdoor recreation areas.

### Environmentally Sensitive Areas

One of the many reasons that residents and visitors alike value Eagle is the presence of authentic mountain flora and fauna. Land development breaks up open areas and can have negative impacts on the viability of native and wild species. There are many ways to reduce development's impacts on native species, including protecting the most sensitive natural resource areas, placing limits on disturbed areas, prohibiting

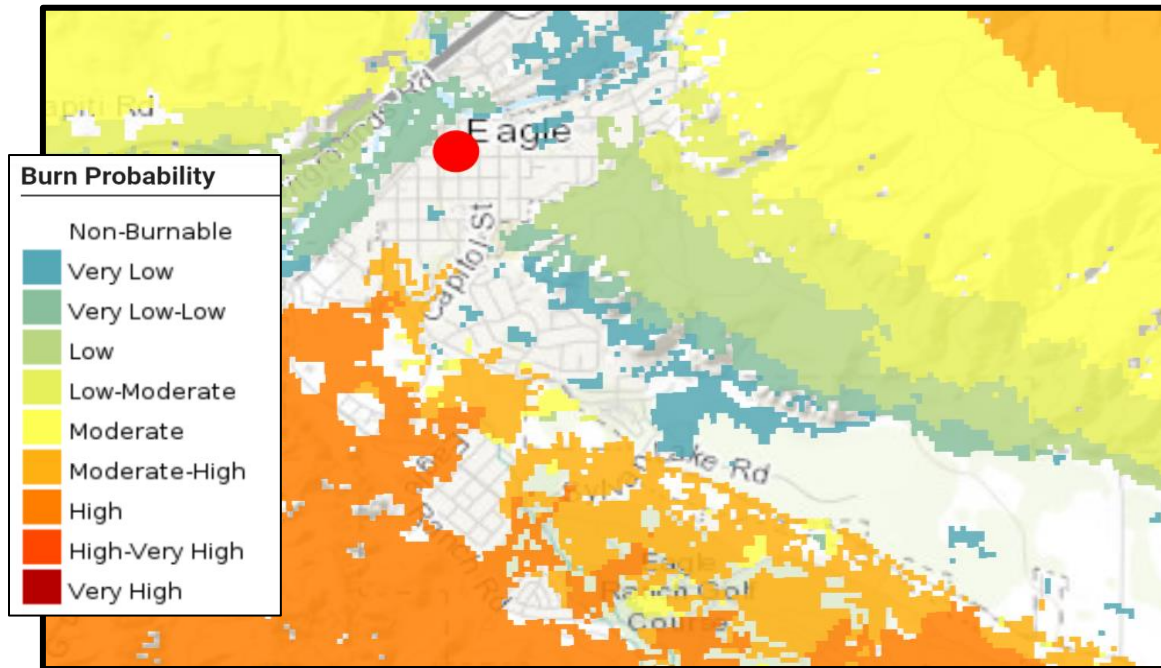


Wildlife habitat areas around Eagle (*Community Wildlife Roundtable Interactive Map Viewer*)

invasive landscaping plant species, and creating fence regulations that allow safe passage for wildlife. The consultant team will propose a set of regulations that focus on protecting environmentally sensitive areas while still allowing development to take place on the site.

### Natural Hazards

Colorado's areas of natural beauty can have a dual identity as a potential natural hazard. Streams can flood, cliffs can have rockslides, and forests are subject to wildfire. The map below shows that the Town of Eagle, for example, is located adjacent to areas of moderate-high wildfire risk.



*Wildfire Risk Map from the Colorado Forest Atlas*

In the natural hazards section, the consultant team will carry forward and update the Town's fire protection, natural hazard, and flood damage sections, while supplementing these regulations with the full range of standards needed to protect potential development from the potential for significant damage at some point in the future.