



**Land Use and Development Code Update Committee  
Monday, September 19, 2022, 6:00 PM  
Public Meeting Room / Eagle Town Hall  
200 Broadway, Eagle, CO 81631**

*This agenda and the meetings can be viewed at [www.Townofeagle.org](http://www.Townofeagle.org).*

**PUBLIC WIFI – Eagle Guest**

**MEETING ACCESS INFORMATION**

This will be an in-person meeting with virtual access through Microsoft Teams. First-time users will need to download the app.

**Microsoft Teams meeting**

Join on your computer or mobile app: [Click here to join the meeting](#)

Meeting ID: 285 373 678 495 | Passcode: jYYfeN

Or call in (audio only): [+1 469-770-0416,,330282603#](tel:+14697700416330282603) United States, Dallas

Phone Conference ID: 330 282 603#

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**6:00 PM - MEETING CALLED TO ORDER**

**APPROVAL OF MINUTES**

Minutes dated August 15, 2022

**DISCUSSION**

Installment 2, Design Standards and Landscaping

**FUTURE AGENDA ITEMS**

**ADJOURN**

I hereby certify that the above Notice of Meeting was posted by me in the designated location at least 24 hours prior to said meeting.

Nikki Davis  
Administrative Technician II



**MEETING MINUTES**  
**Land Use and Development Code Update Committee**  
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**PUBLIC WIFI – Eagle Guest**

**MEETING ACCESS INFORMATION**

This was an in-person meeting with access for the public to attend via Teams.

**6:00 PM MEETING CALLED TO ORDER**

Hoiland called the meeting to order at 6:00PM.

**COMMITTEE MEMBERS PRESENT**

Dawn Koenig, Kyle Hoiland, Scott Turnipseed,  
Rick Beveridge, Rick Pylman,  
Scott Schlosser (via Teams),  
Allison Kent (via Teams)

**COMMITTEE MEMBERS ABSENT**

Jack Albertson

**STAFF**

Chad Phillips – Community Development Director  
Peyton Heitzman – Planner II  
Jessica Lake – Planner I  
Nikki Davis – Administrative Tech II  
Elizabeth Garvin – Clarion Associates  
Don Elliott – Clarion Associates

**APPROVAL OF MINUTES**

1. Minutes dated June 6, 2022

The meeting minutes were approved without change.

**DISCUSSION**

**1. Housing Study & Housing Update**

Comprehensive Affordable Housing Assessment (CAHA) high level data overview.

- Housing Gap – Can EPS get newer data beyond 2019?

- Value in targeting ownership. To address need (Home Price Affordability by Wage) \$275,000-500,000. 180% AMI is a great challenge for homeownership.
- Single family homes with ADUs can help with this gap, we may see more multi-generational families in this format. There is also a need for hotel beds. Local hotels have turned into long-term stays or seasonal employee housing. This is also concerning for our economy.
- Home prices seem low, as it relates to affordability. This illustrates how much these professionals can spend on purchasing a home.
- 144 ADU's in Eagle seems inaccurate. This was sourced from the Town's utility billing system. May consider querying from County Assessor's Office. There are also more deed restricted units in the Town; homes that were already deed restricted before LERP.
- Can the Town do more projects with Habitat for Humanity? This would be a policy or activity pursued by the Town, not a regulation built into the Code.

#### DOLA Strategies –

The state is taking it up to 140% AMI or possibly higher, to define “affordable”. With EPS's study, we will need to define “affordable” for Eagle.

- Tiny homes – small lots with the small homes; down to 3,500 sf. Limited allowance of tiny homes.
- Detached but two units on lot (duplex but detached). At what point does an ADU become a duplex on the lot? Can an ADU be defined by ownership? More acceptable/manageable if defined by ownership – duplexes can be sold separately.
- Would people on large lots considering subdividing and selling? Yes.
  - Build two dwellings on one lot? Could still subdivide. This activity would be limited to downtown/old Eagle.
  - ADU limitations (850 sf) would go away. What about parking?
  - ADUs need to be permitted in mixed use
- Conservation zone district – mostly talking about tearing down substandard housing. Not much of it and otherwise substandard.
- Convert single family to multifamily – more than 2. Need minimum square footage.
- Building code trigger to commercial – 3+ triggers fire code. Upgrading costs associated with conversion for 3+ units.
- RVs as temporary housing – Sept. proposal from Dave and Matt's Vans to start conversation. Enforcement could be a challenge.
  - RV Park to TOE – not necessarily affordable. Need an affordable housing RV Park. It's happening, how are we going to deal with it?
  - Silt has an example of a tiny home park – land for rent.
- Uses allowed in single family zoning – at least duplex allowed as use by right.
- Density bonus for affordability – difficult if the Town hasn't defined affordable housing. Affordable or workforce housing? Negotiations for resident occupied (RO) over LERP requirement.
- Additional density for more LERP? Not under current requirements in LERP. Do we increase square footage with increased density or allow units to have smaller square footage. Still unaffordable – needs to be unrelated to AMI. Vail has moved to basic RO and away from AMI. Encourage supply to bring down costs.
- Strategy 6 – Allow affordable housing as allow by right in any zone district? Not a good fit for East Eagle.

#### Community survey responses -

- STR restrictions – enforcement can be really challenging but can possibly be addressed through registration.

- Do we want to discuss this as a community to determine if STRs are a problem? Capping the number of STRs in a community has been an unpopular approach. An ownership requirement is palatable for Council.

Eagle Specific Issues -

- More residential on Chambers? Residential on Chambers will not be adopted by Council – concern housing will take away commercial opportunities.
- East Eagle – follow guidance from subarea plan.

## **2. Administration and Procedures Preview**

- Intent is to consolidate in one section.
- Increase types of reviews that are approved by staff and supported with Bump-Up/Call-Up procedures. Switch to objective review criteria.
- Two Main categories: Permits & Administrative Approvals and Specific Procedures. Council would be interested in expediting approval processes.

## **3. Future Agenda Items**

The committee is in favor of doing 2 meetings in September and 2 meetings in October to stay on schedule.

## **ADJOURN**

Meeting adjourned at 8:00PM.



**I. Agenda**

- A. Attached/Multifamily Residential Design Standards
- B. East Eagle Design Standards (attached)
- C. Grand Avenue Design Standards (attached)
- D. Landscaping Buffers
- E. Landscaping Materials
- F. Wildfire Landscaping Management
- G. Home Occupations

**II. Design Standard Priorities**

The LUDC design standards should reflect the preferred design character of the community and may be adjusted to reflect the different types of structures that are built within different areas of Town. Elevate Eagle, the East Sub Area Plan, and the Grand Avenue Corridor Plan are all forward looking plans that anticipate more, and potentially different, types of development in Eagle.

Which, if any, of the following potential design requirements are important in each area, and what else should be included in this list? The current design standards for the North Interchange (East Eagle) and U.S. Highway 6 (Grand Avenue) are included at the end of this packet. The current LUDC does not have residential design standards.

We will have a PowerPoint presentation that includes photos of local developments and buildings to help with this discussion during our meeting on September 19.

Design Element	Attached/ Multifamily Residential	East Eagle	Grand Avenue
<b>Site Layout</b>			
Front wall faces public street/path			
Parking located side, back, interior			
Pedestrian routes marked with different paving/colors			
Provide private open space (res) or public open space (MU/com)			
Large mixed-use/commercial development has logical internal pedestrian and car circulation design			
Extra storage space with parking or unit			
Weather protection for pedestrian areas			

Design Element	Attached/ Multifamily Residential	East Eagle	Grand Avenue
<b>Building Design</b>			
Traditional mountain materials			
Materials that work in Eagle climate			
Traditional mountain architectural design			
Traditional mountain colors			
Use of multiple materials on buildings			
Front entries and porches			
Garage location and design			
Attached units (e.g., townhomes) have units that look different			
Upper floor units with balconies			
Larger building design is pedestrian at street level			
Design for ground floor commercial			
Tuck under parking in alleys			

**III. Landscape Buffers**

The current Code appears to include room for much negotiation around landscaping design. We are recommending that the Town standardize the types of buffers used between development types, and also eliminate some buffers altogether, based on the following table. Would the current process benefit from some standardization or does it work well?

**4.01.010. Boundary Buffer**

**A. Applicability**

The exterior boundary of a lot that adjoins or is located across an alley from a different zone district, structure, or use, and that does not adjoin a public street right-of-way, shall meet the boundary buffer requirements shown in Table 4.III-2 below.

**B. Types of Boundary Buffers**

1. There are three types of landscaping boundary buffers defined in this section that are intended to accomplish the following:
  - a. B1: Visual Enhancement is intended to create a partial visual separation between uses or districts.
  - b. B2: Filtered Screen is intended to create a semi-opaque visual separation between uses or districts.
  - c. B3: Screened Separation is intended to provide both space and a partial visual separation between uses or districts. This buffer is intended for use where a new development is located adjacent to a district or use that is significantly different in intensity, such as a residential district next to an industrial district.

2. The dimensions and planting requirements for each type of boundary buffer are specified in Table 4.III-1.

*[Note to Update Committee: these values will need to be filled in with Eagle preferences]*

<b>Table 4.III-1: Boundary Buffer Types</b>			
Requirement	Boundary Buffer Type		
	B1: Visual Enhancement	B2: Filtered Screen	B3: Screened Separation
Planting Area Width (min avg, ft)	6	10	10
Minimum Trees	Not required	1 per 30 linear feet, min. 1 per buffer	2 per 30 linear feet, min. 2 per buffer
Minimum Shrubs	45% coverage	60% coverage	70% coverage
Max. % Non-Organic Landscape Materials	25	25	25
Max. Organic Groundcover in Turf Grass	Not permitted	Not permitted	Not permitted
Opaque Screen Fence	Optional	Optional	Required
Open Fence	Optional	Optional	Not permitted

3. Public amenities may be included in a border buffer that is generally accessible by the public or by adjacent residential development. Public amenities shall meet the following standards:
  - a. Outdoor seating plaza or sheltering structure with a minimum useable area of 180 square feet.
  - b. Public art, including but not limited to sculptures, fountains, clocks, or murals with an installed value equal to or greater than ½ of one percent of the construction value of the structure.
  - c. Sidewalk planters between the sidewalk and the building.
  - d. Pedestrian paths that connect residential development to the adjacent development or to an existing or proposed public walkway system.

**C. Additional Standards and Instruction**

1. If a use or district does not conform to the categories identified in Table 4.III-2, the Director shall determine which category best matches the use.
2. An applicant may submit a landscape plan that employs an alternative buffering technique. The Director shall determine whether the alternative approach meets the intent of this section in terms of design, durability, and maintenance.
3. A six-foot high sight-obscuring fence or wall shall be provided on the property line where a commercial or industrial use or structure is adjacent to or across an alley from any residential uses, including residential as part of a mixed-use development. A continuous hedge may be substituted for the required fence or wall, as long as it has a minimum height at installation of three feet and reaches six feet or more at maturity.

**Table 4.III-2: Boundary Buffer Applicability**

Key: B1, B2, or B3 = required buffer type (see Table 4.III-1 for requirements) X = no bufferyard required

Read DOWN columns for proposed uses

**Proposed New Development**

		Category 1: Residential and Mixed-Use				Category 2: Commercial Mixed-Use				Category 3: Downtown				Category 4: Commercial and Industrial			Category 5: Public		
		SFR	MFR	Mixed Use	Non-Res.	SFR	MFR	Mixed Use	Non-Res	SFR	MFR	Mixed Use	Non-Res	CI1	CI2	CI3	PC1	PC2	
<b>Existing Adjacent Development Categories</b>	Cat. 1 (Res. and MU)	Single Family	X	B1	B2	B2	NA	NA	B2	B3	NA	B1	B2	B3	B3	B3	B3	X	B2
		Multi Family	B1	X	B2	B2	NA	NA	B2	B3	NA	X	B2	B3	B3	B3	B3	X	B2
		Mixed-Use	B2	B2	B	B1	NA	NA	B	B1	NA	B2	B	B1	B2	B3	B3	X	B1
		Non-Residential	B2	B2	B1	B	NA	NA	B1	B	NA	B2	B1	B	B1	B2	B3	X	B1
	Cat. 2 (Com. MU)	Single Family	X	B1	B2	B2	NA	NA	B2	B3	NA	B1	B2	B3	B3	B3	B3	X	B2
		Multi Family	B1	X	B2	B2	NA	NA	B2	B3	NA	X	B2	B3	B3	B3	B3	X	B2
		Mixed Use	B2	B2	B	B1	NA	NA	B	B1	NA	B2	B	B1	B2	B3	B3	X	B1
		Non-Residential	B2	B2	B1	B	NA	NA	B1	B	NA	B2	B1	B	B1	B2	B3	X	B1
	Cat. 3 (Downtown)	Single Family	X	B1	B2	B2	NA	NA	B2	B3	NA	B1	B2	B3	B3	B3	B3	X	B2
		Multi Family	B1	X	B2	B2	NA	NA	B2	B3	NA	X	B2	B3	B3	B3	B3	X	B2
		Mixed Use	B2	B2	B	B1	NA	NA	B	B1	NA	B2	B	B2	B2	B3	B3	X	B1
		Non-Residential	B2	B2	B1	B	NA	NA	B1	B	NA	B2	B2	B	B1	B2	B3	X	B1
	Cat. 4 (Comm and Ind.)	CI1	B3	B3	B2	B1	NA	NA	B3	B3	NA	B3	B3	B2	B	B	B	X	B3
		CI2	B3	B3	B3	B2	NA	NA	B3	B3	NA	B3	B3	B2	B	B	B	X	B3
		CI3	B3	B3	B3	B3	NA	NA	B3	B3	NA	B3	B3	B2	B	B	B	X	B3
	Cat. 5 (Public)	PC1	X	X	X	X	X	X	X	X	X	X	X	X	B1	B1	B1	X	X
PC2		B2	B2	B1	B1	NA	NA	B2	B2	NA	B1	B1	B1	B3	B3	B3	X	B	

## IV. Landscaping Materials

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This is the proposed update to the landscaping plant selection section. It is much more focused on the use of low water, drought resistant plant materials than the current code. If you'd like to look at the CSU Water Wise Landscaping information, you can find it here: <https://cmg.extension.colostate.edu/gardening-resources/online-garden-publications/water-wise-landscaping-xeriscaping/>

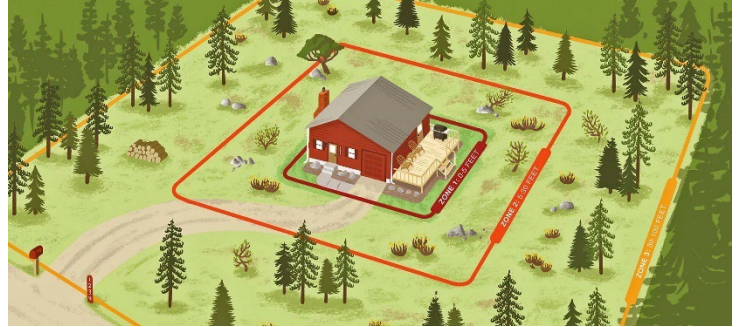
What are your thoughts about this change?

### B. Plant Selection

1. Tree and plant materials shall be selected for: energy efficiency and water efficiency; adaptability and relationship to the native environment; color, form and pattern; ability to provide shade; soil retention; and resistance to fire. The overall landscape plan shall be integrated with all elements of the project, such as buildings, parking lots, and streets, and to achieve a desirable microclimate and minimize energy demand.
2. Plant materials adapted to the climatic conditions of the area shall be used to the maximum extent practicable in order to reduce water consumption, general maintenance, and the dependence on fertilizers and insecticides.
3. At least 75 percent of all annuals and trees, and 100 percent of shrubs, perennials, groundcovers, and ornamental grasses used to landscape each site regulated by this section shall be selected from the Colorado Water-wise Regional Plant List; the Colorado State University Cooperative Extension Facts Sheet on Xeriscaping; or other approved Water-wise, resource wise, or Xeriscape plant material references. Trees and shrubs specified from other sources may be considered based on species information provided by the applicant.
4. If turf areas are included in landscaping, they must use a sod or seed mix specifically cultivated to thrive in the conditions present at the particular site.
  - a. The use of non-naturalized, high water consumptive turf or other monoculture seeding is discouraged.
  - b. The applicant must provide information regarding the composition of a sod or seed mix as part of the detailed plant list as required.
  - c. No person or organization shall impose private covenants, conditions, deed clauses, or other agreements that require the installation of turf or prevent the utilization of water efficient landscaping, provided such landscaping receives appropriate approval. No person shall prohibit landscaping materials and designs solely on the basis that they make use of water-efficient landscaping.
5. Landscape materials such as stone, masonry, wood, and steel may also be used to define space and create visual interest. When landscaped areas are adjacent to natural areas or open spaces, plants shall be selected to continue that native appearance along the border with the open space or natural area.

## V. Wildfire Landscaping Management

We looked at a wildfire protection overlay district a few months ago. Here's the fuel management section and attached is CSU's FireWise Plant Materials Fact Sheet. (And in case you are wondering whether a community can be Water-Wise and FireWise, CalWater says yes and that fact sheet is also attached.)



What are your thoughts about Eagle adopting similar standards?

### B. Fuels Management Requirements

#### 1. Fuels Management

After the Effective Date of this Section X, all lots with homes constructed or reconstructed within the WP-O, regardless of the date of approval for any development plan, site plan, or lot grading plan related to the lot, shall be subject to the following fuels management requirements:

##### a. Safety zone

Brush patches or clusters may be left in the safety zone, but shall be separated by clear areas of at least 10 feet or more of noncombustible materials and/or grass mowed to not more than four inches in height. The safety zone is defined as the area within 30 feet of the main structure or significant accessory structures, not to extend beyond the property line.

##### b. Clearance to main structure

- (1) No hazardous brush or trees (i.e. junipers and conifers) shall be allowed within 15 feet of the main structure or significant accessory structure. Conifers or other similarly combustible plants shall not be planted under soffit vents.
- (2) As an exception to Subsection b(1) above, when approved by the fire code official, small brush patches or trees, not exceeding 100 square feet in size and no more than 15 linear feet in any direction, may be allowed to encroach into this zone. Vegetation must be maintained in compliance with all adopted City fire, landscaping, and other regulations. Plants with fire resistant characteristics found on the \_\_\_\_\_ State Forest Service list of Firewise Plants are allowed within 15 feet of the main structure or significant accessory structure.

##### c. Pruning of dead limbs

Large trees shall not be allowed to have limbs overlap another tree and shall be pruned of dead limbs to a height of up to 10 feet above the ground. Tree clusters may be allowed if sufficient clear area is provided and approved.

#### 2. Clearance of tree branches to structures or appurtenances

Tree branches shall not extend over or under the roof or eaves, and shall not be within 15 feet of a deck or similar combustible projection, wood burning appliance or chimney.

## VI. Home Occupations

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Home occupations are steadily expanding post-Covid and we should reconsider what occupations are allowed in which district. There are multiple considerations to what makes a “good” home occupation, including building and fire code requirements (life safety concerns), parking, increased traffic, neighbors’ expectations, and noise. Here’s a list of home occupations and uses in home that we’ve seen become more common over time:

- A. Office
- B. Retail / Pop-up Businesses (might host small events in their own home or other people’s homes)
- C. Classes (exercise, art, cooking, gardening)
- D. Brewing / winemaking
- E. Furniture / woodwork / metal work
- F. Hair / makeup / massage / spa / etc
- G. Child Care (under state rules, homeowners are permitted to have a non-licensed at-home child care for 6 students or fewer)
- H. Bed and Breakfast (not a home occupation but happens in neighborhoods)
- I. Short Term Rental (not a home occupation but happens in neighborhoods)

What insight does the Update Committee have about Town priorities and considerations around home occupations?

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## **Section 4.07.080. North Interchange Area.**

### **A. *General provisions.***

1. The North Interchange Area contains the following zone districts as per this Title:
  - a. Commercial General "for commercial and tourist uses including lodging, dining, and recreation facilities and compatible uses, and for heavier commercial uses, low-impact manufacturing uses, and compatible uses."
  - b. Public Area "for any use owned and/or operated by a public entity."
2. The North Interchange Area incorporates privately owned, commercially zoned land north of the I-70 interchange. The area comprises a linear strip of land with approximately 1½ miles of I-70 frontage. Steeper pastureland north of this area limits future commercial development activity. This area is completely separated physically and visually from the developed Town by the I-70 corridor. Because of its hillside backdrop and location, development here would have less of an impact to the community, if treated sensitively, than if these uses occurred downtown. Because larger commercial parcels with municipal service infrastructure are available, there will be considerable pressure for development activity here. It is very possible that this area will develop completely independent of other trends in the Town, and be more influenced by county and regional market forces. Commercial activity may, over time, compete with downtown Eagle as the commercial center of the area. Because of its likely development with commercial activities featuring high volumes of user traffic, master planning of large parcels should be strongly encouraged. Careful consideration to the layout of curb cuts along existing public roads should be given. To the extent possible, the preservation of large pieces of indigenous landscape and plant materials should be an important objective. Like the Chambers Avenue Area, architectural design should feature indigenous building materials, styles and details.

### **B. *Goals and objectives.*** The goals and objectives of this section are:

1. Improve the overall appearance of the I-70 corridor by enforcing architectural and landscape standards on development that abuts the interstate right-of-way.
2. Promote coordinated physical organization by enforcing setbacks and requiring landscaped buffers similar to those seen in the Chambers Avenue Area.
3. Encourage high quality individual development by creating a palette of materials and architectural details, which reflect the traditional building styles of the region.

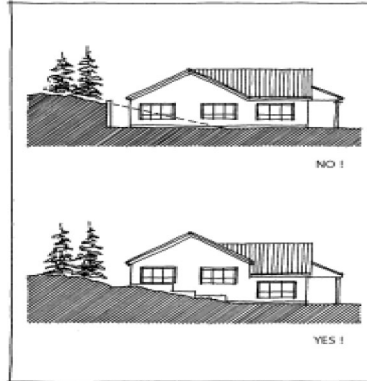
### **C. *Building setbacks.***

1. Setback from Eby Creek Road is to be 25 feet.
2. Setbacks from property lines other than those abutting the Eby Creek Road shall be as required under this Title.

### **D. *Building mass/form/orientation.***

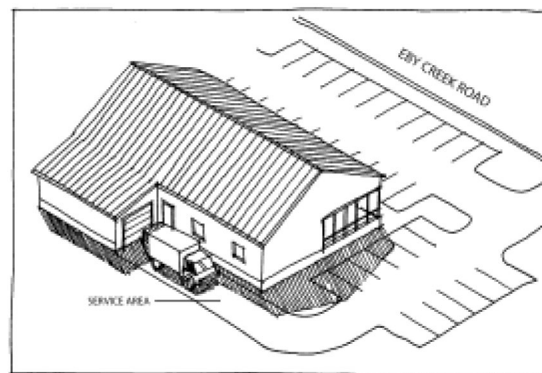
1. Buildings shall be similar in size to those found in a rural mountain community. Traditionally, the largest buildings in the vicinity are those found in ranch complexes. The central form of the buildings is usually simple and rectangular, having secondary gable and shed roofed wings. Porches shall project from the central form and be covered by a separate roof. Roofs that are similar to those of traditional ranch buildings, such as simple gable and shed forms, are appropriate. This incremental add-on approach creates visual interest and scale. Roof pitches, trim, and entrance locations also help to inform and influence the overall aesthetic of a building.

2. The siting of any new building should respond to existing site features. Removal of existing native plant material should be limited to areas essential for site development. Excessive excavation of hillsides should not be permitted. All cut and fill slopes should be stabilized, contoured to blend with existing, undisturbed terrain, and revegetated using plant material similar to that found on undisturbed land in the immediate vicinity. Slopes greater than 2:1 are not permitted.



E. *Architectural details.*

1. Facades that face public rights-of-way, including the I-70 corridor, shall include variation in the wall plane. Facades that are greater than 100 feet in length shall include spatial definition in the form of wall projections and/or recesses which must have a depth of at least three percent of the length of the facade. Projections and/or recesses must occupy at least 20 percent of the length of the facade. Group items such as windows to create an interesting composition; these type of features provide visual interest to the pedestrian, reduce monolithic appearance, and add local character to development. Facade projections, recesses, windows, and entrances should be integral parts of the building and must not be superficially applied trim, graphics, or paint.
2. Provide variation in roof lines and forms. Mansard roofs are not traditionally seen in the region and are prohibited. If total building size exceeds a 10,000 square foot floorplate, flat roofs with a surrounding parapet wall are permitted provided that no mechanical equipment is visible and that the roof is aesthetically pleasing and fits into the Town. For buildings with a floorplate of from 5,000 square feet to 10,000 square feet, a multiple roof treatment is encouraged; flat roofs are not permitted. Minimum roof pitch to be 5:12 for all buildings less than 10,000 square feet.



3. Loading docks and service areas must be located to the sides and/or rear of the building, unless the parcel abuts the I-70 corridor. If the building abuts the I-70 corridor, all services and loading areas must be located to the sides of the building, which do not face the Eby Creek Road or I-70.

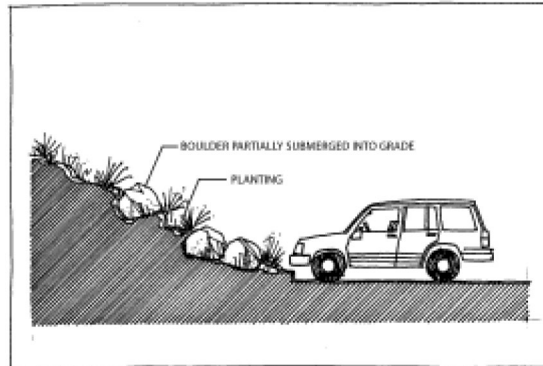
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F. *Building materials.*

1. Building materials shall be used for all major surfaces that are similar to those employed historically. Segmented, horizontal siding as traditionally seen on wood and wood-clad ranch buildings is appropriate; maximum overlap dimension shall be eight inches. Stone masonry is appropriate when used as a foundation material; however, stone cladding over large portions of a surface is not a documented historical use and is inappropriate. Concrete block must be split-faced and all windows and entrances on such buildings must have added trim. Modular panel materials are not allowed. All facade materials shall have low reflectivity.
2. Pitched roof material shall be wood or asphalt shingles or standing rib seam sheet metal-matte finish.

G. *Landscape/sidewalks/furnishings/screening.*

1. Sidewalks shall be constructed in all commercial zones. Sidewalks shall be detached from curb and gutter a minimum distance of five feet to accommodate a planting strip between the curb and sidewalk. Sidewalks linking the pedestrian system of the block to the building are required.
2. Buildings that abut the I-70 corridor shall have a minimum 15 foot landscaped buffer paralleling the property line in addition to the landscaping of the interstate right-of-way. One tree is required to be planted in such buffer for every 25 linear feet of property line. A minimum of one-third of all required trees shall be evergreen, and shall be placed 20 feet on center minimum and 25 feet on center maximum, in groups of three or five. Shrub massing shall be used in conjunction with tree plantings. Selected shrubs shall have a minimum mature height of eight feet. Refer to detailed plant list in Section 4.07.020(D).
3. Formal, irrigated landscape treatment shall not abut native, undisturbed ground without edge treatment. Edge transition shall be in the form of a defined grade break, drainage swale, building wall, mulched and planted bed, or pavement.

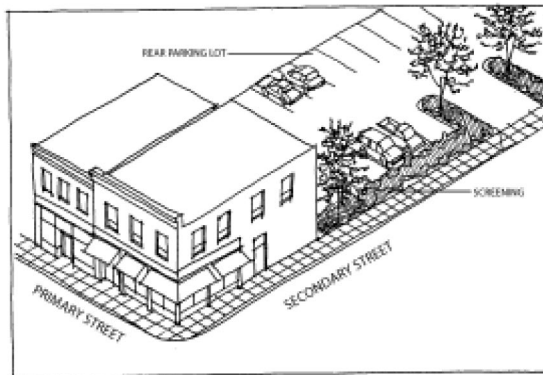
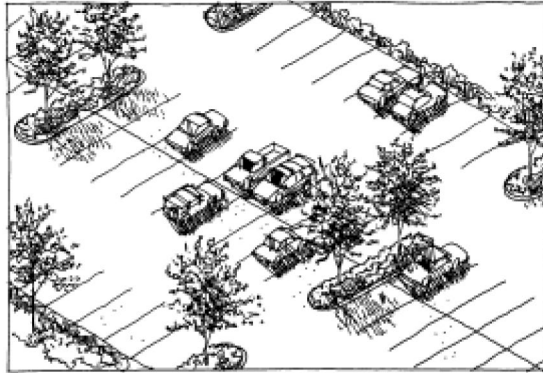


4. Retaining walls may be necessary in grade changes and should be concrete with a sandblast finish or keyed brick. Where grade and space allow, boulders may be used. The design and layout of the boulder wall should be such that the base course of the boulders are partly submerged into finish grade. Where appropriate, pockets in-between boulders should be planted to achieve a natural appearance. Retaining wall systems should be consistent from parcel to parcel.
5. Opaque fencing shall be restricted to side and rear yards. Fencing is not allowed between the front building facade and the primary street. Fencing materials shall be wood, masonry, or split face concrete block. Chainlink may be used for demonstrated security purposes only and must be vinyl-coated black or green and used in conjunction with plant material that is tightly spaced to create a visual screen. Chainlink fencing shall be restricted to rear yards, except when rear yards abut the I-70 corridor.

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H. *Parking.*

1. For parking lots with ten or more parking spaces, one deciduous shade tree shall be required to be planted in the interior of the lot for every ten parking stalls. All required shade trees shall be located within curbed, planted medians and/or islands to provide spatial definition and shade within paved areas.



2. All parking lots adjacent to primary and secondary streets shall be screened using plant material and/or fencing.
3. Commercial parcels that front Eby Creek Road should have no more than 50 percent of all required parking located in between the property line abutting the public right-of-way and the building face. The remaining parking stalls should be located to the sides or rear of the proposed building. Limited parking lots are permitted abutting the I-70 right-of-way with substantial landscape screening.

I. *Signage.*

1. All freestanding signs to be monument style (grounded) and integrated with the site plan and planting plan.
2. Lighting of signs during the period a commercial enterprise is open for business and for up to one hour following the close of business shall be permitted.
3. Plastic is permitted only for internally illuminated signs.
4. All signs shall receive a separate sign permit prior to erection as required in Chapter 4.08.

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5. Buildings that contain more than one business shall have a coordinated sign plan for the building and property.

(Amended 2-13-2000; Ord. No. 08-2017, § 15, 4-11-2017)

#### **Section 4.07.090. U.S. Highway 6 Corridor.**

A. *General provisions.*

1. The U.S. Highway 6 Corridor contains the following zone areas as per this Title: Commercial Limited "for commercial uses of limited size and impact which serve the daily or convenience needs of the residents in the neighborhood."
2. U.S. Highway 6 is the historic State highway access that connects various developed segments of the county along the Eagle River Valley. The highway parallels the river and its occasional river crossing provides dramatic views of the corridor at several points along its alignment in the Town. The area consists of private land, mostly commercial zoned, along both sides of the road. Commercial activity historically consisted of small service facilities catering to the traveler. With the development of the I-70 corridor, many of the older commercial structures have been converted to serve more localized uses or are underutilized. As the residential population of the county expands, this corridor will face convenience and service commercial expansion. Guidelines here should focus on retaining the rural architectural style in place and require careful consideration of service area placement and screening, parking lot placement, and curb cuts. Design and placement of landscape medians along frontage will enhance the character of the district, while still allowing unimpeded views of commercial building frontage and controlled signage.

B. *Goals and objectives.* The goals and objectives of this section are:

1. Vacant lots should be targeted for development to fill in existing gaps and strengthen the street edge along the U.S. Highway 6 corridor.
2. Create a distinct edge between the highway right-of-way and private property through street improvements and landscaping.
3. Protect adjacent neighborhoods by requiring screening such as landscaping and fencing.

C. *Building setbacks.*

1. Setbacks shall be as required under this Title.
2. Existing setbacks within the district vary. Facades and entrances should align from lot to lot and not disrupt the overall street edge created by existing building alignment along U.S. Highway 6.

D. *Building height.*

1. New construction shall place the first floor at ground level.



2. New buildings adjacent to existing buildings that are less than 35 feet should step down in height and match height of existing buildings.

E. *Building mass/form/orientation.*

1. New construction shall maintain and reinforce the pattern of traditional building forms and shapes along the street. The U.S. Highway 6 Area contains a variety of older wooden commercial buildings, wooden residences, masonry buildings, service stations, and mobile homes. A few large frame structures are located on parcels fronting the highway. Older buildings which serviced travelers using U.S. Highway 6 prior to the construction of I-70 are interspersed with newer commercial buildings, creating a vernacular commercial strip along the road. Buildings in this district are set apart from one another and are usually one story in height, although there are a few false front, two story structures.
2. Existing buildings are simple and rectangular in shape and many have shed additions. Roof forms vary; roof forms traditionally seen in the district include gable, hip, shed, and flat roofs with parapet. Porches project from the central form and are covered by a separate roof. Most buildings have larger display windows at ground level.
3. Many existing buildings along the highway have flat roofs. New buildings should use this as historic precedent. Roof forms similar to those of traditional ranch buildings, such as simple gable and shed forms, are also appropriate. Mansard roofs are not traditionally seen in the region and are inappropriate.
4. Buildings shall be sited square to the property lines along U.S. Highway 6 to emphasize the street edge.

F. *Architectural detail.*

1. Facades that face public rights-of-way shall include variation in the wall plane. All buildings shall have architectural detailing, reducing the overall building mass. Elements such as front porches, awnings, and exterior trim provide interest and help to reduce the overall scale of a building. Group items such as windows to create an interesting composition; these type of features provide visual interest to the pedestrian, reduce monolithic appearance, and add local character to development. These elements must be integral parts of the building and must not be superficially applied trim, graphics, or paint.
2. A solid-to-void ratio that is similar to those found historically in the neighborhood should be used. Large expanses of glass on exterior facades, whether vertical or horizontal, are inappropriate on renovated residential buildings used for commercial purposes. Traditional commercial buildings along U.S. Highway 6 have larger display windows. Display windows are appropriate at ground level only, promoting commercial activity. Glass panels shall have low reflectivity and high transparency, allowing for visual access into the building at the ground level.
3. Garage doors should be consolidated and located at one end of the building to reduce vehicular congestion.

G. *Building materials.*

1. Building materials shall be used for all major surfaces that are similar to those employed historically. Segmented, horizontal siding as traditionally seen on wood and wood-clad ranch buildings is appropriate; maximum overlap dimension shall be eight inches. Brick masonry is appropriate for large surfaces as exemplified by older one-story motels. Stone masonry is appropriate when used as a foundation material; however, stone cladding over large portions of a surface is not a documented historical use and is inappropriate. Concrete block must be split-faced and all windows and entrances on such buildings must have added trim. Modular panel materials are prohibited. All facade materials shall have low reflectivity.
2. Pitched roof material shall be wood or asphalt shingles or standing rib seam sheet metal-matte finish with a minimum slope of 5:12.

H. *Landscape/sidewalks/furnishings/fencing.*

1. Sidewalks shall be constructed in all commercial zones. Sidewalks shall be detached from curb and gutter, a minimum distance of five feet to accommodate a planting strip between the curb and sidewalk. Sidewalks linking the pedestrian system of the block to the building are required.
2. Opaque fencing shall be restricted to side and rear yards. Opaque fencing is not allowed between the front building facade and the primary street. Fencing materials shall be wood, masonry, or split face concrete block. Chainlink may be used for demonstrated security purposes only and must be vinyl-coated black or green and used in conjunction with plant material that is tightly spaced to create a visual screen. Chainlink fencing shall be restricted to rear yards.



3. Opaque privacy fencing, six-foot-high minimum, is required where commercial lots abut residential neighborhoods. Plant material may be used as a screening device only if plant quantities and plant spacing create dense, visual barriers. Opaque chainlink fencing is prohibited.

I. *Parking.*

1. For parking lots with ten or more parking spaces, one deciduous shade tree shall be required to be planted in the interior of the lot for every ten spaces. All required shade trees shall be located within curbed, planted medians and/or islands to provide vertical interest and shade within paved areas.
2. On-street parking is prohibited.
3. All parking lots adjacent to primary and secondary streets shall be screened using plant material and/or fencing.

J. *Signage.*

- 
1. All freestanding signs to be monument style (grounded) and integrated with the site plan and planting plan.
  2. Lighting of signs during the period that a commercial enterprise is open for business and for up to one hour following the close of business each day shall be permitted.
  3. All signs shall receive a separate sign permit prior to erection as required in Chapter 4.08.
  4. Buildings that contain more than one business shall have a coordinated sign plan for the building and property.

(Amended 2-13-2000; Ord. No. 08-2017, § 16, 4-11-2017)

## FireWise Plant Materials

Fact Sheet 6.305

Natural Resources Series | Forestry

By F.C. Dennis\*

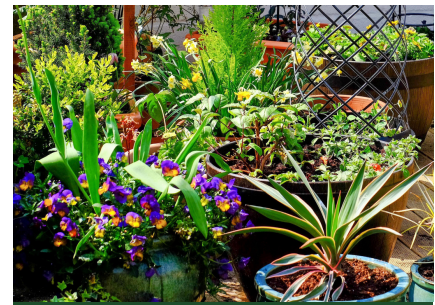
Creating a “defensible space” around your home is one of the most important and effective steps you can take to protect you, your family and your home from catastrophic wildfire. Defensible space is the area between a structure and an oncoming wildfire where nearby vegetation has been modified to reduce a wildfire’s intensity. (See fact sheet 6.302, Creating Wildfire-Defensible Zones.) Many people resist creating defensible space around their homes because they believe these areas will be unattractive and unnatural. This is far from true. With careful planning, FireWise landscaping can be aesthetically pleasing while reducing potential wildfire fuel. It can actually enhance beauty and property values, as well as personal safety. Many native plants are highly flammable during different seasons of the year. At such times, left unmanaged, they can accelerate the spread of a wildfire through your neighborhood, threatening homes, property and lives. All vegetation, naturally occurring and otherwise, is potential fuel for fire. Its type, amount and arrangement has a dramatic effect on fire behavior. There are no truly “fireproof” plant species, so plant choice, spacing and maintenance are critical to defensible space landscaping. In fact, where and how you plant may be more important than what you plant. However, given alternatives, choose plant species that tend to be more resistant to wildfire.

General concepts to keep in mind when choosing and planting FireWise species are:

- A plant’s moisture content is the single most important factor governing its volatility. (However, resin content and other factors in some species render them flammable even when the plant is well-watered.) Conifers tend to be flammable due to their oil and pitch content, regardless of their water content.
- Deciduous plants tend to be more fire resistant because their leaves have higher moisture content and their basic chemistry is less flammable. Also, when deciduous trees are dormant, there is less fuel to carry fire through their canopies.

In some cases, there is a strong correlation between drought tolerance and fire resistance. For example, a plant may shed its leaves or needles during extreme drought. Other drought-tolerant species may have smaller leaves or thick, succulent leaves. These plants offer less fuel or have a higher moisture content, both of which help reduce fire hazard.

There also appears to be a correlation between a plant’s salt tolerance and natural fire resistance. Plants adapted to salty conditions, and actually growing in salty situations, may better resist burning.



### Quick Facts

- FireWise landscaping can be aesthetically pleasing while reducing potential wildfire fuel.
- Plant choice, spacing and maintenance are critical.
- Your landscape, and the plants in it, must be maintained to retain their FireWise properties.

*Staff Forester (retired), Colorado State Forest Service 1/2012*

Plants for a FireWise Landscape Plants that are more resistant to wildfire have one or more of the following characteristics:

- They grow without accumulating large amounts of combustible dead branches, needles or leaves (example: aspen).
- They have open, loose branches with a low volume of total vegetation (examples: currant and mountain mahogany).
- They have low sap or resin content (examples: many deciduous species).
- They have high moisture content (examples: succulents and some herbaceous species).
- They grow slowly and need little maintenance (do not need frequent pruning).
- They are short and grow close to the ground (examples: wildflowers and groundcovers).
- They can resprout following fire, thus reducing re-landscaping costs (example: aspen).

## Additional FireWise Guidelines

Some additional tips to follow when planning a FireWise landscape include:

- Landscape according to the recommended defensible-space zones. The plants nearest your home should be more widely spaced and smaller than those farther away.
- Plant in small, irregular clusters and islands, not in large masses.
- Break up the continuity of the vegetation (fuel) with decorative rock, gravel and stepping stone pathways. This will help modify fire behavior and slow its spread across your property.
- Plant a variety of types and species. Besides being aesthetically pleasing, this will help ensure a healthier forest by reducing insects and diseases. Healthy, vigorous, thinned forests can better resist catastrophic fires than unhealthy ones with insect and disease problems.
- In the event of drought and water rationing, prioritize the plants you wish to save. Provide supplemental water to those nearest your home, perhaps using “gray water.”
- Mulch to conserve moisture and reduce weed growth. Mulch can be organic (wood chips or small bark pieces) or inorganic (gravel or rock). Avoid pine bark, thick layers of pine needles or other materials that can easily carry fire.

## Don't Forget Maintenance

A landscape is a dynamic, constantly changing system. Plants considered “fire resistant” and that have low fuel volumes can lose these characteristics over time. Your landscape, and the plants in it, must be maintained to retain their FireWise properties.

Be aware of the growth habits of the plants on your land and of the changes that occur seasonally. Keep a watchful eye for the need to reduce fuel volumes and fuel continuity.

- Remove annual, herbaceous plants after they have gone to seed or when the stems become overly dry.
- Rake up and dispose of litter as it builds up over the season.
- Mow or trim grasses to a low height within your defensible space. This is especially important as they begin to cure and dry.
- Remove plant parts damaged by snow, wind, frost or other agents.
- Timely pruning is critical. It not only reduces fuel volume but also maintains healthier plants with more succulent, vigorous growth

## Additional FireWise Publications - Colorado State University Extension

The following publications are available from the University Resource Center, Colorado State University, 115 General Services Bldg., Fort Collins, CO 80523-4061; (970) 491-6198; [ccs\\_resourcecenter@mail.colostate.edu](mailto:ccs_resourcecenter@mail.colostate.edu). Printed copies cost \$1; they are available free on our website at [www.ext.colostate.edu/pubs/pubs.html](http://www.ext.colostate.edu/pubs/pubs.html):

- 6.302, Creating Wildfire-Defensible Zones
- 6.303, Fire-Resistant Landscaping
- 6.304, Forest Home Fire Safety
- 7.402, Protecting Trees During Construction

## Colorado State Forest Service

The following publication is available from the Colorado State Forest Service, Colorado State University -Foothills, 5060 Campus Delivery, Fort Collins, CO 80523- 5060; (970) 491-6303:

- Home Fire Protection in the Wildland Urban Interface, CSFS #142-399

## FireWise Plant List

The following list was prepared by Phil Hoefer (retired) Colorado State Forest Service. It was reviewed by Jim Knopf, a landscape architect in Boulder, and two landscape architects on Colorado's Western Slope. Bloom time is approximate (observed in Boulder at 5,600 feet).

Key: Water needs: VL = very low L = low M = medium H = high  
 Sun/Shade: S = sun PS = part sun Sh = shade  
 Elevation: Y = Yes N = No ? = Questionable or unknown

Scientific Name	Common Name	Approx.	Approx.	Elevation					Approx.	
		Water Needs	Sun/Shade Preference	Mature Height	(1,000 ft.)	5	6	7	8	9
<b>Flowers and Ground Covers</b>										
<i>Achillea lanulosa</i> <sup>a</sup>	Native yarrow	L-H	S/PS	1.5 - 2'	Y	Y	Y	Y	Y	Jul
<i>Achillea tomentosa</i> <sup>b</sup>	Woolly yarrow	M-H	S/PS	.5'	Y	Y	N	N	N	Jul
<i>Aconitum</i> spp. <sup>c</sup>	Monkshood	M-H	S	2'	Y	Y	Y	Y	Y	Jun-Jul
<i>Aconitum columbianum</i> <sup>ac</sup>	Columbian monkshood	M-H	S	2'	Y	Y	Y	Y	Y	Jun-Jul
<i>Ajuga reptans</i> <sup>b</sup>	Bugleweed	H	Sh	< .5'	Y	Y	Y	Y	Y	Jun-Jul
<i>Alchemilla</i> sp.	Lady's mantle	M-H	PS/Sh	1'	Y	Y	Y	Y	?	Jun-Jul
<i>Allium cernuum</i> <sup>ac</sup>	Nodding onion	L-H	S/PS	1'	Y	Y	Y	Y	Y	Jun
<i>Allium geyeri</i> <sup>ac</sup>	Geyer onion	L-H	S/PS	1'	Y	Y	Y	Y	?	Jun
<i>Anaphalis margaritacea</i> <sup>a</sup>	Pearly everlasting	L-H	S	1.5 - 2.5'	Y	Y	Y	Y	?	Aug
<i>Anemone blanda</i>	Windflower	M-H	S/PS	1'	Y	Y	Y	Y	?	Apr-May
<i>Antennaria parvifolia</i> <sup>ab</sup>	Small-leaf pussytoes	M	S/PS	< .5'	Y	Y	Y	Y	Y	Jun
<i>Antennaria rosea</i> <sup>ab</sup>	Rosy pussytoes	M	S/PS	< .5'	Y	Y	Y	Y	Y	Jun
<i>Aquilegia</i> spp.	Columbine	M-H	S/PS	1 - 2'	Y	Y	Y	Y	Y	Jun-Jul
<i>Aquilegia coerulea</i> <sup>a</sup>	Colorado blue columbine	M-H	S/PS	1 - 2'	Y	Y	Y	Y	Y	Jun-Jul
<i>Aquilegia chrysantha</i> <sup>a</sup>	Yellow columbine	M-H	S/PS	1 - 2'	Y	Y	Y	Y	Y	Jun-Aug
<i>Arabis</i> sp. <sup>b</sup>	Rockcress	L-H	S	< 1'	Y	Y	Y	Y	Y	May-Jun
<i>Armeria maritima</i>	Sea thrift	L-H	S/PS	.5'	Y	Y	Y	Y	Y	Apr-Jun
<i>Artemisia caucasica</i>	Caucasian sage	L-M	S/PS	1 - 2'	Y	Y	Y	?	?	n/a
<i>Artemisia frigida</i> <sup>ac</sup>	Fringed sage	L-M	S	1 - 1.5'	Y	Y	Y	Y	Y	n/a
<i>Artemisia ludoviciana</i> <sup>a</sup>	Prairie sage	L-M	S	1 - 1.5'	Y	Y	Y	?	?	n/a
<i>Aster laevis</i> <sup>a</sup>	Smooth aster	L-H	S/PS	1 - 3'	Y	Y	Y	Y	?	Aug-Sep
<i>Aster porteri</i> <sup>a</sup>	Porter aster	L-M	S	1'	Y	Y	Y	?	?	Aug-Sep
<i>Aubrieta</i> sp. <sup>b</sup>	False rockcress	M	S	1'	Y	Y	Y	Y	Y	Apr-May
<i>Aurinia</i> sp. <sup>b</sup>	Basket of gold	M	S/PS	1'	Y	Y	Y	Y	Y	Apr-May
<i>Calochortus gunnisonii</i> <sup>a</sup>	Mariposa lily	M-H	S	.5 - 2'	Y	Y	Y	Y	?	Jul-Aug
<i>Campanula rotundifolia</i> <sup>a</sup>	Common harebell	M-H	S	.5 - 1'	Y	Y	Y	Y	Y	May-Oct
<i>Centranthus ruber</i>	Jupiter's beard	L-H	S/Sh	2 - 2.5'	Y	Y	Y	Y	?	May-Oct
<i>Cerastium strictum</i> <sup>ab</sup>	Mouse ear chickweed	M	S/PS	1'	Y	Y	Y	Y	?	May-Jun
<i>Cerastium tomentosum</i> <sup>b</sup>	Snow-in-summer	L-M	S/PS	1'	Y	Y	Y	Y	Y	May-Jun
<i>Claytonia lanceolata</i> <sup>a</sup>	Spring beauty	M	Sh	.5 - 1.5'	Y	Y	Y	?	?	Mar-Apr
<i>Convallaria majalis</i> <sup>bc</sup>	Lily-of-the-valley	H	Sh	< 1'	Y	Y	Y	Y	?	May-Jun
<i>Delosperma nubigenum</i> <sup>b</sup>	Hardy yellow iceplant	M-H	S	.5'	Y	Y	Y	?	?	Jun
<i>Delphinium</i> spp. <sup>c</sup>	Delphinium	M-H	S/PS	.5 - 3'+	Y	Y	Y	Y	Y	Jun-Jul
<i>Dianthus</i> spp.	Pinks	L-H	S	< .5' - 2'	Y	Y	Y	Y	Y	May-Aug
<i>Doronicum</i> sp.	Leopard's bane	H	S/PS	2 - 3'	Y	Y	Y	Y	?	Jul-Aug
<i>Echinacea purpurea</i> <sup>a</sup>	Purple coneflower	M	S	2 - 3'	Y	Y	Y	Y	Y	Jul-Aug
<i>Epilobium angustifolium</i>	Fireweed	H	S/PS	3'	N	Y	Y	Y	Y	Jul-Aug
<i>Erigeron flagellaris</i> <sup>a</sup>	Whiplash daisy, trailing fleabane	L-M	S	< 1'	Y	Y	?	?	?	Jun-Jul
<i>Eriogonum umbellatum</i> <sup>a</sup>	Sulphur flower	M	S/PS	< .5'	Y	Y	Y	Y	Y	Jun-Jul
<i>Erysimum asperum</i> <sup>a</sup>	Western wallflower	M	S/PS	1'+	Y	Y	Y	Y	?	Jun-Jul
<i>Gaillardia aristata</i> <sup>a</sup>	Blanket flower	L-M	S	1 - 1.5'	Y	Y	Y	Y	Y	Jul-Sep
<i>Galium boreale</i> <sup>ab</sup>	Northern bedstraw	M-H	Sh	< 1'	Y	Y	Y	Y	Y	May-Jun
<i>Geranium</i> spp.	Hardy geraniums	M	Sh/PS	2'	Y	Y	Y	Y	Y	May-Oct
<i>Geranium caespitosum</i> <sup>a</sup>	Wild geranium	M	Sh/PS	2'	Y	Y	Y	Y	Y	May-Oct
<i>Geum triflorum</i>	Prairie smoke	M-H	S/PS	1.5'	Y	Y	Y	?	?	Jun
<i>Helianthella</i>	Aspen sunflower	M	S	1'	?	?	?	Y	Y	?
<i>quinquenervis</i> <sup>a</sup>										
<i>Helianthemum nummularium</i>	Rockrose	M-H	S	< 1'	Y	Y	Y	?	?	May-Jun
<i>Helianthus pumilus</i> <sup>a</sup>	Small sunflower	M	S	1 - 2'	Y	Y	Y	?	?	Jun-Jul
<i>Heuchera</i> spp.	Coral bells	M-H	PS/Sh	1 - 2'	Y	Y	Y	Y	Y	Jun-Aug
<i>Ipomopsis aggregata</i> <sup>a</sup>	Scarlet gilia	M	S/PS	1 - 2'	Y	Y	Y	Y	Y	Jun-Aug

Scientific Name	Common Name	Approx. Water Needs	Sun/Shade Preference	Approx. Mature Height	Elevation (1,000 ft.)					Approx. Bloom Month
					5	6	7	8	9	
<i>Iris germanica</i>	Bearded iris	L-M	S	1 - 3'	Y	Y	Y	Y	Y	May-Jun
<i>Iris missouriensis</i> <sup>ac</sup>	Missouri iris	M-H	S	1 - 2'	Y	Y	Y	Y	Y	May
<i>Lamium</i> sp. <sup>b</sup>	Dead nettle	M-H	Sh	< 1'	Y	Y	Y	Y	?	May-Jun
<i>Lavandula</i> spp.	Lavender	L-M	S	1 - 2'	Y	Y	Y	?	?	Jun-Nov
<i>Leucocrocinum montanum</i> <sup>a</sup>	Sand lily	L-M	S	< 1'	Y	Y	Y	?	?	May
<i>Liatrix punctata</i> <sup>a</sup>	Dotted gayfeather	VL-L	S	1 - 2'	Y	Y	Y	Y	Y	Aug-Oct
<i>Linum lewisii</i> <sup>ac</sup>	Wild blue flax	L-H	S/PS	1 - 2'	Y	Y	Y	Y	Y	May-Sep
<i>Lupinus argenteus</i> <sup>ac</sup>	Silver lupine	M	Sh/PS	1 - 3'	Y	Y	Y	Y	Y	Jun-Jul
<i>Mertensia lanceolata</i> <sup>a</sup>	Narrow-leaved chiming bells	M-H	Sh/PS	1 - 2'	Y	Y	Y	Y	Y	May-Jun
<i>Mimulus guttatus</i> <sup>a</sup>	Yellow monkey-flower	H	Sh	1'	?	Y	Y	Y	Y	?
<i>Monarda fistulosa</i> <sup>a</sup>	Native beebalm	M-H	S/PS	1 - 2'	Y	Y	Y	Y	Y	Jul-Oct
<i>Oenothera caespitosa</i> <sup>a</sup>	White stemless evening primrose	L-M	S	1 - 2'	Y	Y	Y	Y	Y	Jun-Aug
<i>Papaver orientale</i>	Oriental poppy	H	S/Sh	2 - 3'	Y	Y	Y	Y	Y	May-Jun
<i>Penstemon caespitosus</i> <sup>ab</sup>	Mat penstemon	L-M	S	< .5'	Y	Y	Y	Y	Y	Jun
<i>Penstemon secundiflorus</i>	Sidebells	L-M	S	1 - 2'	Y	Y	Y	Y	?	May-Jun
<i>Penstemon teucrioides</i> <sup>a</sup>	Germander penstemon	L-M	S	.5'	Y	Y	Y	?	?	Jun-Jul
<i>Penstemon virens</i> <sup>ac</sup>	Blue mist penstemon	M	S/PS	.5'	Y	Y	Y	Y	Y	May-Jun
<i>Phlox subulata</i>	Moss phlox	M	S	< .5'	Y	Y	Y	Y	Y	May
<i>Polemonium</i> sp.	Jacob's ladder	H	S/PS	1 - 2'	Y	Y	Y	Y	Y	May-Aug
<i>Potentilla fissa</i> <sup>a</sup>	Leafy potentilla	M-H	PS	1'	Y	Y	Y	Y	?	?
<i>Potentilla verna</i> <sup>b</sup>	Spring potentilla	M-H	PS	< .5'	Y	Y	Y	Y	Y	Mar-May
<i>Pulsatilla patens</i> <sup>a</sup>	Pasque flower	M	S/PS	1'	Y	Y	Y	Y	Y	Mar-May
<i>Ratibida columnifera</i> <sup>a</sup>	Prairie coneflower	L-M	S	2'	Y	Y	Y	Y	Y	Jul-Sep
<i>Rudbeckia hirta</i> <sup>a</sup>	Black-eyed Susan	M-H	S	2 - 3'	Y	Y	Y	Y	Y	Jul-Sep
<i>Salvia officinalis</i>	Cooking sage	L-M	S/PS	2'	Y	Y	Y	Y	?	Jun
<i>Saxifraga hirsuta</i>	Saxifrage	H	S/PS	.5'+	Y	Y	Y	Y	Y	May-Jun
<i>Scutellaria brittonii</i> <sup>a</sup>	Skullcap	M	S/PS	.5 - 1'	Y	Y	Y	Y	?	Aug-Sep
<i>Sedum</i> spp. <sup>b</sup>	Stonecrop	M	S/PS	1 - 1.5'	Y	Y	Y	Y	Y	Jul-Aug
<i>Sedum lanceolatum</i> <sup>a</sup>	Yellow stonecrop	M	S/PS	.5'	Y	Y	Y	Y	Y	Jul-Aug
<i>Sempervivum</i> sp.	Hens and chicks	L-M	S/PS	.5'	Y	Y	Y	Y	Y	n/a
<i>Senecio spartioides</i> <sup>ac</sup>	Broom groundsel	VL-L	S	2 - 3'	Y	Y	?	?	?	Sep-Oct
<i>Solidago missouriensis</i> <sup>a</sup>	Smooth goldenrod	L-M	S	1 - 2'	Y	Y	Y	Y	?	Jul-Aug
<i>Thalictrum fendleri</i> <sup>a</sup>	Fendler meadowrue	H	S/PS	2 - 3'	?	?	Y	Y	Y	Jul-Aug
<i>Thermopsis divaricarpa</i> <sup>a</sup>	Spreading golden banner	M-H	S/PS	2'	Y	Y	Y	Y	?	May
<i>Tradescantia occidentalis</i> <sup>a</sup>	Western spiderwort	M	S/PS	1.5'	Y	Y	Y	Y	?	Jun-Aug
<i>Thymus</i> spp. <sup>b</sup>	Thyme	L-M	S	< .5'	Y	Y	Y	Y	Y	Jun-Jul
<i>Veronica pectinata</i>	Speedwell	L-M	S	< .5'	Y	Y	Y	Y	Y	Apr-Jul
<i>Vinca minor</i> <sup>b</sup>	Periwinkle, myrtle	H	Sh	< 1'	Y	Y	Y	Y	?	Apr-Jun
<i>Waldsteinia</i> sp. <sup>b</sup>	Barren strawberry	M-H	Sh/PS	< 1'	Y	Y	Y	Y	?	May-Jun

**Shrubs**

<i>Arctostaphylos nevadensis</i> <sup>ab</sup>	Pinemat manzanita	M	S/PS	1 - 2'	Y	Y	Y	N	N	n/a
<i>Arctostaphylos patula</i> <sup>a</sup>	Greenleaf manzanita	M	S/PS	3 - 4'	Y	Y	Y	N	N	n/a
<i>Arctostaphylos uva-ursi</i> <sup>ab</sup>	Kinnikinnick, bearberry	M	S/Sh	1'	Y	Y	Y	Y	Y	n/a
<i>Betula glandulosa</i> <sup>a</sup>	Bog birch	H	S/PS	6 - 8'	Y	Y	Y	Y	Y	n/a
<i>Calluna</i> sp.	Heather	H	S/PS	2'	Y	Y	Y	?	?	Jul-Aug
<i>Ceanothus fendleri</i> <sup>a</sup>	Buckbrush, mountain lilac	M	S	2'	Y	Y	Y	?	?	Jul
<i>Cercocarpus intricatus</i> <sup>a</sup>	Little-leaf mountain mahogany	VL-L	S	4 - 6'	Y	Y	Y	Y	?	n/a
<i>Cercocarpus montanus</i> <sup>ac</sup>	True mountain mahogany	L-M	S	4 - 6'	Y	Y	Y	Y	?	n/a
<i>Chrysothamnus</i> spp. <sup>a</sup>	Rabbitbrush	VL-L	S	2 - 6'	Y	Y	Y	Y	Y	Jul-Aug
<i>Cornus stolonifera</i> <sup>a</sup>	Redtwig dogwood	H	S/Sh	4 - 6'	Y	Y	Y	Y	Y	n/a
<i>Cotoneaster horizontalis</i>	Spreading cotoneaster	M	S/PS	2 - 3'	Y	Y	Y	Y	?	May-Jun
<i>Daphne burkwoodii</i>	Burkwood daphne	M	S/PS	2 - 3'	Y	Y	Y	?	?	Apr-Jun
<i>Erica</i> sp.	Heath	H	S/PS	1'	Y	Y	Y	?	?	Jan-Mar
<i>Euonymus alatus</i>	Burning bush euonymus	M	S/Sh	1 - 6'	Y	Y	Y	?	?	n/a

Scientific Name	Common Name	Approx. Water Needs	Sun/Shade Preference	Approx. Mature Height	Elevation (1,000 ft.)					Approx. Bloom Month
					5	6	7	8	9	
<i>Fallugia paradoxa</i> <sup>a</sup>	Apache plume	VL-L	S	2 - 4'	Y	Y	Y	Y	Y	Jun-Oct
<i>Holodiscus dumosus</i> <sup>a</sup>	Ocean spray, cliff/rock spirea	L-M	S/PS	4'	Y	Y	Y	Y	Y	Jun
<i>Jamesia americana</i> <sup>a</sup>	Wax flower	M-H	S/Sh	2 - 6'	Y	Y	Y	Y	Y	Jun
<i>Lonicera tatarica</i>	Tatarian honeysuckle	M	S/PS	4 - 6'	Y	Y	Y	Y	Y	May-Jun
<i>Mahonia aquifolium</i>	Oregon grape holly	M-H	S/Sh	4 - 6'	Y	Y	Y	?	?	May-Jun
<i>Mahonia repens</i> ab	Creeping grape holly	L-H	S/Sh	1 - 2'	Y	Y	Y	Y	Y	Mar-May
<i>Philadelphus microphyllus</i> <sup>a</sup>	Little-leaf mockorange	M	S	2 - 3'	Y	Y	Y	Y	?	Jun
<i>Physocarpus monogynus</i> <sup>a</sup>	Mountain ninebark	M	S/Sh	2 - 4v	Y	Y	Y	Y	Y	Jun
<i>Potentilla fruticosa</i> <sup>a</sup>	Shrubby cinquefoil	M	S/PS	2 - 3'	Y	Y	Y	Y	Y	May-Sep
<i>Prunus besseyi</i> <sup>a</sup>	Western sand cherry	L-M	S	1 - 3'	Y	Y	Y	Y	?	May
<i>Purshia tridentata</i> <sup>a</sup>	Antelope bitterbrush	L-M	S	1 - 2'	Y	Y	Y	?	?	Jun-Aug
<i>Ribes aureum</i> <sup>a</sup>	Golden currant	M	S/PS	2 - 3'	Y	Y	Y	Y	Y	Apr-May
<i>Rosa woodsii</i> <sup>a</sup>	Woods' or native wild rose	M	S/PS	2 - 3'	Y	Y	Y	Y	Y	Jun-Jul
<i>Shepherdia canadensis</i> <sup>d</sup>	Russet buffaloberry	M-H	S	5 - 6'	Y	Y	Y	Y	Y	n/a
<i>Symphoricarpos</i> spp. <sup>d</sup>	Snowberry, coralberry	M	S/PS	2 - 3'	Y	Y	Y	Y	Y	n/a
<i>Viburnum edule</i> <sup>a</sup>	Highbush cranberry	H	S	6 - 8'	Y	Y	Y	Y	Y	May-Jun
<i>Yucca baccata</i> <sup>a</sup>	Banana or broad-leaf yucca	VL-L	S/PS	2 - 3'	Y	Y	Y	N	N	Jun
<i>Yucca filamentosa</i>	Adam's needle	M	S/PS	2 - 3'	Y	Y	Y	N	N	Jun
<i>Yucca glauca</i> <sup>a</sup>	Spanish bayonet, small soapweed, Great Plains yucca	VL-L	S/PS	2 - 3'	Y	Y	Y	Y	?	Jun

#### Large Shrubs and Trees

<i>Acer ginnala</i>	Ginnala maple	M-H	S	6 - 10'	Y	Y	Y	Y	Y	n/a
<i>Acer glabrum</i> <sup>a</sup>	Rocky Mountain maple	M-H	S/Sh	6 - 10'	Y	Y	Y	Y	Y	n/a
<i>Acer grandidentatum</i> <sup>a</sup>	Wasatch maple	M	S/PS	10 - 20'	Y	Y	Y	Y	?	n/a
<i>Alnus tenuifolia</i> <sup>a</sup>	Thinleaf alder	H	S/PS	6 - 8'	Y	Y	Y	Y	Y	Apr
<i>Amelanchier alnifolia</i> <sup>ac</sup>	Saskatoon alder-leaf serviceberry	M	S/PS	6 - 8'	Y	Y	Y	Y	Y	Apr-May
<i>Amelanchier utahensis</i> <sup>a</sup>	Utah serviceberry	VL-M	S	4 - 6'	Y	Y	N	N	N	May
<i>Betula fontinalis</i> <sup>a</sup>	River birch	H	S/PS	6 - 8'	Y	Y	Y	Y	?	n/a
<i>Cercocarpus ledifolius</i> <sup>a</sup>	Mountain mahogany	VL-L	S	6 - 15'	Y	Y	?	N	N	n/a
<i>Corylus cornuta</i> <sup>a</sup>	Filbert, beaked hazelnut	H	S/Sh	5 - 6'	Y	Y	Y	?	?	n/a
<i>Crataegus</i> spp. <sup>a</sup>	Hawthorn (several native)	M	S	6 - 8'	Y	Y	Y	Y	?	May
<i>Fraxinus pennsylvanica</i>	Green ash	M-H	S	20 - 25'	Y	Y	Y	Y	?	n/a
<i>Gleditsia triacanthos</i>	Honeylocust	M-H	S	60 - 70'	Y	Y	N	N	N	May
<i>Malus</i> sp.	Crabapple	M	S	10 - 15'	Y	Y	Y	Y	N	Apr-May
<i>Physocarpus opulifolius</i> <sup>a</sup>	Tall ninebark	M	S/PS	4 - 6'	Y	Y	Y	?	N	May
<i>Populus tremuloides</i> <sup>a</sup>	Aspen	M	S	8 - 25'	Y	Y	Y	Y	Y	n/a
<i>Prunus americana</i> <sup>a</sup>	American wild plum	M	S/PS	4 - 6'	Y	Y	Y	Y	N	Apr
<i>Prunus cerasifera</i> <sup>c</sup>	Flowering plum	M	S/PS	8 - 10'	Y	Y	Y	?	N	Apr
<i>Prunus pensylvanica</i> <sup>ac</sup>	Pin/fire/wild/red cherry	M	S/PS	6 - 8'	Y	Y	Y	?	N	May
<i>Prunus virginiana melanocarpa</i> <sup>ac</sup>	Western chokecherry	M-H	S/PS	6 - 8'	Y	Y	Y	Y	Y	Apr-May
<i>Rubus deliciosus</i> <sup>a</sup>	Boulder raspberry, thimbleberry	M	S/Sh	4 - 6'	Y	Y	Y	Y	Y	Apr-May
<i>Salix amygdaloides</i> <sup>a</sup>	Peachleaf willow	H	S/PS	20 - 30'	Y	Y	Y	Y	?	n/a
<i>Shepherdia argentea</i> <sup>a</sup>	Silver buffaloberry	M	S/PS	4 - 6'	Y	Y	Y	Y	?	Apr
<i>Sorbus scopulina</i> <sup>a</sup>	Western mountain ash	M-H	S/Sh	6 - 8'	Y	Y	Y	Y	?	May
<i>Syringa vulgaris</i>	Common lilac	M	S	6 - 8'	Y	Y	Y	Y	Y	May

<sup>a</sup> Native species.

<sup>b</sup> Ground cover plant.

<sup>c</sup> This species, or some species in this genus, may be poisonous to livestock, pets, wildlife and/or people under some conditions. Before planting, check with Colorado State University Extension, Colorado State Forest Service, or other knowledgeable personnel.

<sup>d</sup> Several species of *symphoricarpos* are native.



## Be Water-wise AND Fire-wise

It is possible to use less water in your yard and still safeguard your property from wildfires.

**Firescaping is landscape design that reduces house and property vulnerability to wildfires. The goal is to develop a landscape with a design and choice of plants that offers the best defensible space and enhance your property by surrounding your house with plants that are less likely to burn.**

### **PLAN** a fire-resistant landscape

- Plan a “leaner palette,” with open space and less-crowded vegetation.
- Reduce fuel by replacing oily plants (such as junipers) with fire-resistant plants. Many are also drought-tolerant. (See reverse).
- Create “islands” of vegetation separated by permeable hardscape such as pebble pathways, which also help with runoff.
- Capture rainwater and use drip irrigation at night or early morning to reduce evaporation. Please be sure to observe outdoor irrigation restrictions in effect now.
- Reach out to a local nursery or your local fire agency for plans and concepts.

### **PREPARE** a defensible space

- Clear out flammable and dead vegetation at least 30 feet from structures. Check with your local fire agency for the exact distances required in your area. Use inorganic materials such as gravel for mulch.
- Remove dead branches, grass, weeds and palm fronds, and thin out dense growth under bushes, ivy, and shrubs.
- Mow brown or dead turf to less than three inches. Better yet, replace it with fire-resistant ground cover.

- Trim tree branches to more than 6-10 feet above structures. Trim canopies so they do not touch.

### **PRESERVE & maintain** your yard

- Perform regular maintenance of your landscaping once or twice per month.
- Landscapes are not static. Clear out thick growth, fallen leaves and branches, dead plants, and weeds.
- Use appropriate plants in the right locations, and water accordingly.

### **Additional Resources**

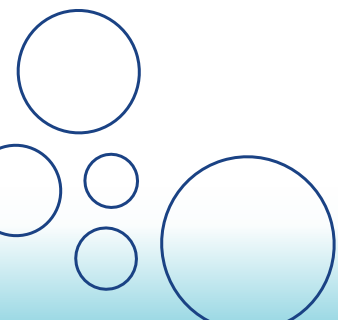
Each California community is unique. Contact your local nursery, cooperative extension, or fire agency to determine the best plants and for landscaping tips in your area.

California Water Service is pleased to partner with Cal Fire for this material. You can find these and other fire safety tips at [www.ReadyForWildfire.org](http://www.ReadyForWildfire.org) and in its “Ready! Set! Go!” planning booklet.

You can also find valuable tips at:  
[firecenter.berkeley.edu](http://firecenter.berkeley.edu)  
[ucanr.org](http://ucanr.org)  
[cagardenweb.ucanr.edu](http://cagardenweb.ucanr.edu)

(more on back)

Get more information at [calwater.com](http://calwater.com)



(CONTINUED)

## Be Water-wise AND Fire-wise



### Defensible Space Zones

**Zone 1** extends 30 feet (check local ordinances) out from structures.

- Remove all dead vegetation from your yard, roof and rain gutters.
- Trim trees regularly to keep branches 10 feet from other trees and 10 feet away from your roof.
- Remove or prune flammable plants and shrubs near windows, and items that could catch fire from around house and under decks.

**Zone 2** extends another 70 feet.

- Mow grass to four inches (three if it's brown).
- Create horizontal and vertical space between shrubs, grass, and trees.
- Remove leaves, needles, twigs, bark, cones, and small branches.

### Fire-Resistant Plants

Check your local nursery, landscape contractor or county extension service for advice on fire-resistant plants that are suited for your environment, and for help to plan your landscape. They include the following:

- hedging roses
- bush honeysuckles
- currant
- cotoneaster
- sumac
- coreopsis
- California fuchsia
- yellow iceplant
- California redbud
- French lavender
- California lilac
- red monkey flower.

### Prepare Your Home

Creating and maintaining defensible space is an essential first step to increasing your home's chances of surviving a wildfire. Protecting your home from flying embers is the next step.

- Clear leaves and other debris from gutters, eaves, porches and decks. This prevents embers from igniting your home.
- Cover vent openings with 1-8-in. to 1/4-in. metal mesh. Do not use fiberglass or plastic mesh because they can melt and burn.
- Remove combustible materials from underneath decks and clear trash, wood, and other flammable materials at least five feet away from the house and garage.
- Go to [www.ReadyForWildfire.org](http://www.ReadyForWildfire.org) for more tips on "hardening" your home.

### Cal Water Resources

Cal Water offers a variety of conservation rebates, programs, and tools to help customers reduce their water use. Please visit [www.calwater.com/conservation](http://www.calwater.com/conservation) for more information about the following resources:

#### Residential:

- High-efficiency toilet rebate
- High-efficiency clothes washer rebate
- Smart Irrigation Controller rebate
- Free sprinkler nozzles
- Water use efficiency evaluation program
- Turf replacement rebate
- Home water use reports
- Conservation kits
- Fact sheets, other educational resources.